

CODE DATA SUMMARY																												
PROJECT DESCRIPTION	RENOVATION AND A 608 SQ. FT. ADDITION FOR THE LINCOLN COUNTY AMBULANCE DISTRICT ADMINISTRATION AND BASE STATION #1 FACILITY LOCATED AT 1392 S. THIRD STREET, TROY, MISSOURI 63379																											
JURISDICTION	CITY OF TROY, TROY CITY HALL, 800 CAP AU GRIS STREET, TROY, MISSOURI 63379 LINCOLN COUNTY FIRE PROTECTION DISTRICT, 700 E CHERRY STREET, TROY, MISSOURI 63379																											
BUILDING CODES	CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES: 2015 INTERNATIONAL BUILDING CODE, I.B.C. 2014 NATIONAL ELECTRICAL CODE, N.E.C./2017 JEFFERSON COUNTY ELECTRICAL CODE 2015 INTERNATIONAL MECHANICAL CODE, I.M.C. 2015 INTERNATIONAL PLUMBING CODE, I.P.C. 2015 INTERNATIONAL FIRE CODE, I.F.C. 2010 ICC/ANSI A117.1 - ACCESSIBILITY CODE, I.A.C.																											
CHAPTER 3 USE GROUP	USE GROUPS (NO CHANGE): B, BUSINESS (ADMINISTRATION OFFICES/TRAINING ROOMS) R-3, RESIDENTIAL (SLEEPING QUARTERS) S-2, STORAGE (APPARATUS BAYS)																											
CHAPTER 5 HEIGHT AND AREA	B, NS, TYPE VB (MOST RESTRICTIVE) BASE ALLOWABLE AREA: 9,000 SQ.FT. EXISTING BUILDING AREA: 8,248 SQ.FT. BASE ALLOWABLE BLDG HT: 2 STORIES/40 FT. NEW BUILDING ADDITION: 608 SQ.FT. EXIST. BLDG HT (NO CHANGE): 2 STORIES 24 FT.																											
CHAPTER 6 TYPE OF CONST	VB - UNPROTECTED																											
CHAPTER 6 FIRE RESISTANCE RATING CHART	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS: 0 HR RATING: EXTERIOR WALLS 0 HR RATING: INTERIOR WALLS 0 HR RATING: ROOF CONSTRUCTION																											
CHAPTER 7 FLAME SPREAD	PER SECTIONS 803 AND 805 - ALL ITEMS 25 OR LESS TESTED BY ASTM.E84																											
CHAPTER 7 SMOKE DEVELOPED	PER SECTIONS 803 AND 805 - ALL ITEMS 450 OR LESS, TESTED BY ASTM.E84																											
CHAPTER 8 INTERIOR FINISHES	SHALL COMPLY WITH THE 2015 IBC CHAPTER 8																											
CHAPTER 9 FIRE PROTECTION SYSTEMS	EXISTING PORTABLE FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE 2015 IBC. NEW LIMITED AREA AUTOMATIC SPRINKLER SYSTEM FOR THE BUILDING ADDITION. CONTRACTOR TO PROVIDE SIGNED/SEALED FIRE SPRINKLER SYSTEM DRAWINGS TO THE CITY AND FIRE DISTRICT FOR A SEPARATE PERMIT.																											
CHAPTER 9 FIRE EXTINGUISHERS	PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 906 OF THE 2015 IBC AND LOCATED BY FIRE MARSHAL. MAXIMUM MOUNTING HEIGHT FOR 5LB ABC FIRE EXTINGUISHER IS 52-INCHES NEAR THE EXIT DOORS.																											
CHAPTER 10 OCCUPANCY LOADS & EXITING	B, BUSINESS - ADMINISTRATION AREA: 4,063 S.F./100 GROSS = 40 OCCUPANTS R-3, RESIDENTIAL - LIVING/SLEEPING AREAS: 2,156 S.F./200 GROSS = 10 OCCUPANTS S-2, STORAGE - APPARATUS BAYS: 2,637 S.F./200 GROSS = 13 OCCUPANTS EGRESS 5 EXISTING EXIT DOORS + 2 NEW EXIT DOORS - SEE FLOOR PLAN SECTION 1008.1.9 - EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SECTION 1016 - MAXIMUM TRAVEL DISTANCE LESS THAN 200' SECTION 1008.1.5 - THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR.																											
CHAPTER 29 PLUMBING SYSTEMS	PLUMBING FIXTURE REQUIREMENTS FOR ADMINISTRATION & PUBLIC AREAS: <table border="1"> <thead> <tr> <th>PLUMBING FIXTURE</th> <th>CALCULATION</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>WATER CLOSETS (20 MEN & 20 WOMEN)</td> <td>1 per 25 FOR THE 1st 50</td> <td>1 MEN'S, 1 WOMEN'S, 1 UNISEX (OFFICE)</td> </tr> <tr> <td>LAVATORIES (20 MEN & 20 WOMEN)</td> <td>1 per 80</td> <td>1 MEN'S, 1 WOMEN'S, 1 UNISEX (OFFICE)</td> </tr> </tbody> </table> PLUMBING FIXTURE REQUIREMENTS FOR RESIDENTIAL R-3: <table border="1"> <thead> <tr> <th>PLUMBING FIXTURE</th> <th>CALCULATION</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>WATER CLOSETS (5 MEN OR WOMEN)</td> <td>1 per dwelling unit</td> <td>2 WC PROVIDED</td> </tr> <tr> <td>LAVATORIES (5 MEN OR WOMEN)</td> <td>1 per 10</td> <td>2 LAVS PROVIDED</td> </tr> <tr> <td>SHOWERS (5 MEN OR WOMEN)</td> <td>1 per 8</td> <td>2 SHOWERS PROVIDED</td> </tr> <tr> <td>DRINKING FOUNTAIN</td> <td>1 per 100</td> <td>2 DFs PROVIDED</td> </tr> <tr> <td>SERVICE SINK</td> <td>1 required</td> <td>1 SS PROVIDED</td> </tr> </tbody> </table>	PLUMBING FIXTURE	CALCULATION	PROVIDED	WATER CLOSETS (20 MEN & 20 WOMEN)	1 per 25 FOR THE 1st 50	1 MEN'S, 1 WOMEN'S, 1 UNISEX (OFFICE)	LAVATORIES (20 MEN & 20 WOMEN)	1 per 80	1 MEN'S, 1 WOMEN'S, 1 UNISEX (OFFICE)	PLUMBING FIXTURE	CALCULATION	PROVIDED	WATER CLOSETS (5 MEN OR WOMEN)	1 per dwelling unit	2 WC PROVIDED	LAVATORIES (5 MEN OR WOMEN)	1 per 10	2 LAVS PROVIDED	SHOWERS (5 MEN OR WOMEN)	1 per 8	2 SHOWERS PROVIDED	DRINKING FOUNTAIN	1 per 100	2 DFs PROVIDED	SERVICE SINK	1 required	1 SS PROVIDED
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DOORS	ALL DOORS SHALL NOT REQUIRE MORE THAN 5lbs OF FORCE TO OPEN																											
SIGNS	ALL SIGNS TO COMPLY WITH "SECTION 1111 SIGNAGE" OF THE 2015 IBC																											
ADDRESS	6-INCH WHITE ADDRESS NUMBERS NEED TO BE MOUNTED ON THE GLASS ON THE STREET SIDE OF THE BUILDING AND IN A CONTRASTING COLOR ON THE REAR OF THE BUILDING.																											
	ALL CURTAINS, DRAPERIES, HANGINGS AND OTHER DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILING SHALL BE NONCOMBUSTIBLE OR BE MAINTAINED FLAME-RESISTANT. THE PERMISSIBLE AMOUNT OF NONCOMBUSTIBLE DECORATIVE HANGINGS SHALL NOT BE LIMITED. THE PERMISSIBLE AMOUNT OF FLAME-RESISTANT DECORATIVE HANGINGS SHALL NOT EXCEED 10 PERCENT OF THE TOTAL WALL AND CEILING AREA FIRE BLOCKING WILL BE PROVIDED IN ALL WALLS TALLER THAN 8'-0" THAT DO NOT CONTAIN FIBERGLASS BATT INSULATION. PROVIDE ALL REQUIRED LABELING FOR ELECTRICAL, MECHANICAL AND STORAGE AREAS PER 2015 ICC CODES.																											
Owner:	Lincoln County Ambulance District 1392 S. Third Street Troy, Missouri 63379 Office: 636-528-8488 Fax: 636-528-6828 www.lcad.net																											
Architect:	Baalman Architects LLC, Michael J. Baalman, RA #2 Daniel Drive O'Fallon, Missouri 63366 John K. Luehrs, Project Manager Mobile: 314-591-0814 Office: 636-294-9811 john@baalmanarchitects.com																											

GENERAL NOTES
1. BAALMAN ARCHITECTS IS ISSUING THIS SET OF CONSTRUCTION DOCUMENTS TO FACILITATE CONSTRUCTION BY EXPRESSING THE DESIGN CONCEPT OF THIS PROJECT. ADDITIONAL DETAILED SHOP DRAWINGS AND SUBMITTALS WILL BE REQUIRED FOR PROCURING, PLACING AND CONSTRUCTING THE FINISHED WORK.
2. BAALMAN ARCHITECTS ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
3. ALL WORK SHALL COMPLY WITH THE CURRENT FEDERAL, STATE AND ALL LOCAL CODES AND ORDINANCES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND SHALL REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
4. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES SHALL BE CLARIFIED WITH THE ARCHITECT.
5. ALL DIMENSIONS ARE TO FACE OF GYP. BOARD, CONCRETE, MASONRY OR BRICK UNLESS OTHERWISE NOTED.
6. THE ARCHITECT SHALL REVIEW FOR APPROVAL ALL COLOR SAMPLES. MANUFACTURERS SHALL VERIFY CONFORMANCE WITH THE DESIGN INTENT AND SCOPE OF THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL VERIFY LOCATION AND SHALL PROVIDE PROTECTION FOR UTILITIES WITHIN THE WORK AREA, WHETHER OR NOT INDICATED IN THE DRAWINGS.
8. CONTRACTOR SHALL NOTIFY UTILITY COMPANY AND OWNER IMMEDIATELY SHOULD SERVICE BE INTERRUPTED.
9. CONTRACTOR SHALL TAKE STEPS NECESSARY TO PREVENT EROSION DAMAGE ON OR OFF THE SITE AND REPAIR ANY DAMAGE RESULTING FROM THIS WORK AT NO COST TO THE OWNER.
10. WHERE POSSIBLE THE CONTRACTOR SHALL AVOID DAMAGING EXISTING TREES AND LANDSCAPING. CONTRACTOR SHALL COORDINATE THE DESTRUCTION OF ANY LANDSCAPE WITH THE ARCHITECT.
11. CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIALS, FALSE WORK, TEMPORARY STRUCTURES, INCLUDING : FOUNDATIONS AND DEBRIS OF ANY NATURE RESULTING FROM THEIR OPERATIONS, AND PUT THE SITE IN A NEAT AND ORDERLY CONDITION.
12. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE PRIOR TO SUBMITTING PROPOSAL ON THE PROJECT AND NOTIFY THE ARCHITECT AS TO ANY DISCREPANCIES OR CHANGES DISCOVERED.
13. SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL PORTIONS OF THE DRAWINGS, SPECIFICATIONS, ADDENDUM AND CHANGE ORDERS THAT PERTAIN TO THEIR WORK. THEY SHALL BE HELD RESPONSIBLE FOR ADHERING TO THOSE REQUIREMENTS AND SHALL NOT PREPARE ANY BID.
14. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
15. ALL INTERIOR PARTITION DIMENSIONS ARE TO FACE OF GYP. BD. WALL UNLESS NOTED OTHERWISE.
16. ALL EXPOSED UNFINISHED METAL AND WOOD SHALL BE PAINTED AS PER SPECIFICATION, PAINT TO MATCH ADJACENT COLOR.
17. ALL FINISHES AND FINISH MATERIALS, COLORS AND TEXTURES SHALL BE VERIFIED WITH ARCHITECT PRIOR TO INSTALLATION, FABRICATION OR ORDERING.
DESIGN BUILD SYSTEMS
1. THE FIRE PROTECTION SYSTEM FOR THE NEW ADDITION IS TO BE A (DESIGN-BUILD) LIMITED AREA AUTOMATIC SPRINKLER SYSTEM.
2. FOR THE SUBMISSION OF BID THE CONTRACTOR IS REQUIRED TO IDENTIFY THE SCOPE OF WORK TO BE PERFORMED FOR THE PROJECT AND CONTACT ALL GOVERNING AGENCIES AS OUTLINED HERE-IN.
3. THE DESIGN BUILD CONTRACTOR IS TO INCLUDE ALL DRAWINGS AND SPECIFICATIONS AS REQUIRED BY GOVERNING AUTHORITIES FOR THEIR RESPECTIVE WORK. SUBMISSION OF BID INCLUDES ALL REQUIRED WORK SUCH TO PROVIDE A COMPLETE AND WORKING SYSTEM READY TO USE WHEN THE BUILDING IS OCCUPIED BY THE OWNER.
4. THE DESIGN-BUILD CONTRACTOR IS TO VISIT THE SITE TO VERIFY CONDITIONS AND CONFIRM THAT ADEQUATE UTILITIES AND SERVICE SIZES ARE AVAILABLE FOR THEIR WORK.
SHOP DRAWINGS
THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE FOLLOWING SCOPES OF WORK:
1. PRE-ENGINEERED WOOD TRUSS DRAWINGS.
2. CONCRETE & REBAR ITEMS OUTLINED WITHIN THE DRAWINGS.
3. ALL EXTERIOR FINISH MATERIALS INCLUDING SIDING AND ROOFING MATERIALS, GUTTERS, DOWNSPOUTS, DOORS, WINDOWS AND SHEET METAL COPINGS & FLASHINGS.
4. ALL MECHANICAL (HVAC) SYSTEM COMPONENTS, PLUMBING COMPONENTS, ELECTRICAL SYSTEM COMPONENTS AND LIGHTING.
5. ALL INTERIOR MATERIALS AND FINISHES INCLUDING BUT NOT LIMITED TO PLUMBING FIXTURES, DOORS, DOOR FRAMES, HARDWARE, CASEWORK AND CEILING & FLOORING MATERIALS.

CONTRACTOR'S NOTES
1. THE CONSTRUCTION DOCUMENTS HAVE BEEN CAREFULLY PREPARED BUT MAY NOT DEPICT EVERY CONDITION TO BE ENCOUNTERED. IT IS THEREFORE THE GENERAL CONTRACTOR'S & SUBCONTRACTORS' RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS OF AFFECTED WORK PRIOR TO SUBMITTING A BID OR STARTING ANY WORK. IF CONDITIONS DIFFER, OR ADDITIONAL WORK IS REQUIRED BEYOND THAT STATED IN THE CONSTRUCTION DOCUMENTS IT IS THE CONTRACTORS RESPONSIBILITY TO BRING SUCH MATTERS TO THE ATTENTION OF THE ARCHITECT IN A REASONABLE TIME PERIOD. PRIOR TO THE BID SUBMISSION, CONTRACTOR SHALL INCLUDE SUCH INSTANCES IN THEIR BID SUM OR QUALIFY IN THE BID SUBMITTAL.
2. ALL CONSTRUCTION DOCUMENTS REPRESENT A COMPREHENSIVE SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REFERENCE ALL DRAWINGS, SPECIFICATIONS, ADDENDUM AND CHANGE ORDERS (IF APPLICABLE) TO VERIFY THEIR RESPECTIVE SCOPE OF WORK.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIAL, EQUIPMENT, MILLWORK, ETC.
4. CONTRACTOR TO CALL FOR INSPECTIONS BEFORE ANYTHING IS COVERED UP, THIS INCLUDES A WALL ROUGH, CEILING COVER, FINAL INSPECTION AND THEN OCCUPANCY.
ACCESSIBILITY
1. H.C. ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCE. 2. THE SLOPE OF WALKS SHALL NOT EXCEED MAX. CROSS SLOPE 2% WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT. 3. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3 FT. WIDE BY NOT LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32" MIN. 4. THRESHOLD TO BE A MAX. 1/4" ABOVE ADJACENT FINISH FLOOR. 5. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LB. 6. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE. 7. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH - PULL ACTVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.) 8. ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32" CLEAR UNOBSTRUCTED OPENINGS. 9. INSULATE HOT WATER AND DRAIN PIPES AT HAND SINKS. 10. FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR TWISTING. FAUCET TO HAVE MAX. 5 LB. OPERATING FORCE.
SITE DEVELOPMENT NOTES
1. ZONING: I-1, NO CHANGE 2. APPROXIMATE ACREAGE: 1.044 ACRES 3. PROPERTY IS SERVED BY THE FOLLOWING UTILITIES: A. CITY OF TROY WATER & SEWER B. AMEREN UE C. CENTURYTEL TELEPHONE 4. PROPERTY IS LOCATED WITHIN THE FOLLOWING SERVICE AREAS: A. LINCOLN FIRE PROTECTION DISTRICT B. LINCOLN COUNTY AMBULANCE DISTRICT C. TROY SCHOOL DISTRICT 5. BOUNDARY INFORMATION HAS BEEN TAKEN FROM A SURVEY PERFORMED BY FITCH & ASSOCIATES, DATED FEB 1999. CONTACT DENNIS KALLASHS AT FITCH & ASSOCIATES FOR SITE INFORMATION 636-528-6180.
SITE GENERAL NOTES
1. UNDERGROUND UTILITIES HAVE NOT BEEN PLOTTED. THE LOCATION OF THE UNDERGROUND UTILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS. 2. ALL FILLED PLACES INCLUDING TRENCH BACK FILLS UNDER BUILDING, PROPOSED WATER, STORM AND SANITARY LINES AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST." (A.S.T.M. -D-1557) ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99 METHOD C." (A.S.T.M.-D-698) 3. NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER. 4. 8" P.V.C. SANITARY SEWER PIPE SHALL MEET THE FOLLOWING STANDARDS. A.S.T.M. D-3034 SDR-35. THE COMP. JOINT SHALL MEET A.S.T.M. D-3212. 5. ALL PVC WATER PIPE SHALL MEET A.S.T.M. D-2241, SDR-21 STANDARD SPEC. FOR PVC PRESSURE PIPE, 200 PSI WORKING PRESSURE. 6. ALL SANITARY MANHOLES SHALL BE WATERPROOFED ON THE EXTERIOR IN ACCORDANCE WITH MISSOURI DEPT. OF NATURAL RESOURCES SPEC, 10 CSR-8.120 (7) E. 7. BRICK SHALL NOT BE USED IN THE CONSTRUCTION OF SANITARY SEWER MANHOLES. 8. ALL HIGH DENSITY POLYETHYLENE CORRUGATED PIPE ADS N-12 OR EQUAL SHALL MEET A.S.T.M. D-2321 AND AASHTO M-294-291. 9. ALL FLARED END SECTIONS AND INLET STRUCTURES SHALL BE CONCRETE. 10. ALL ADS N-12 PIPE SHALL BE INSTALLED WITH "O-RING" RUBBER TYPE GASKETS. 11. A SOILS ENGINEER SHALL OBSERVE AND TEST THE PLACEMENT OF ALL FILL MATERIAL. 12. EROSION AND SEDIMENTATION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLANS. WHATEVER MEANS NECESSARY SHALL BE TAKEN TO PREVENT SILTATION AND EROSION FROM ENTERING STREAMS, ROADWAYS AND PRIVATE PROPERTY. 13. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF TROY, MISSOURI. 14. THE NEW ADDITION BACK WALL IS 16'-0" FROM THE PROPERTY LINE. REFER TO CIVIL SITE BY FITCH & ASSOCIATES.

Renovation and Addition for:

LINCOLN COUNTY AMBULANCE DISTRICT

Administration & Base Station #1 Facility

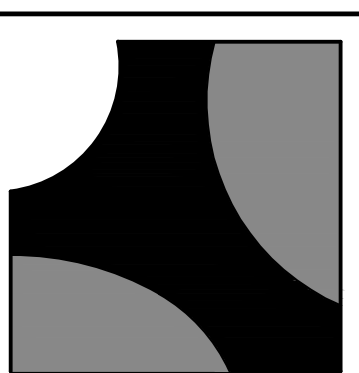
1392 S. Third Street
Troy, Missouri 63379

Drawing Issue:
Bid & Permit Set
Addendum No. 1

Date:
February 21, 2022
March 7, 2022

Architectural Drawings:

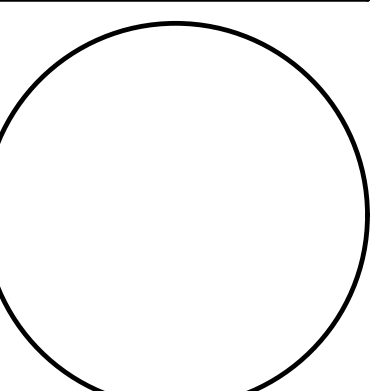
- A0 Cover Sheet, Code Data and Notes
- D1 Demolition Floor Plan & Notes
- A1 Floor Plan, Partition Types & Notes
- A2 Reflected Ceiling Plan & Notes
- A3 Exterior Elevations
- A4 Building Section, Wall Sections & Partial Foundation Plan
- A5 Interior Elevations, Details & Door Schedule
- A6 Finish Plan and Room Finish Schedule
- A7 Mechanical, Plumbing & Electrical Systems



**BAALMAN
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Renovation & Addition for:
**Lincoln County
Ambulance District**
Administration Facility / Base Station #1
1392 S. Third Street
Troy, Missouri 63379

R#	ISSUE
1	BID & PERMIT SET
2	ADDENDUM No. 1
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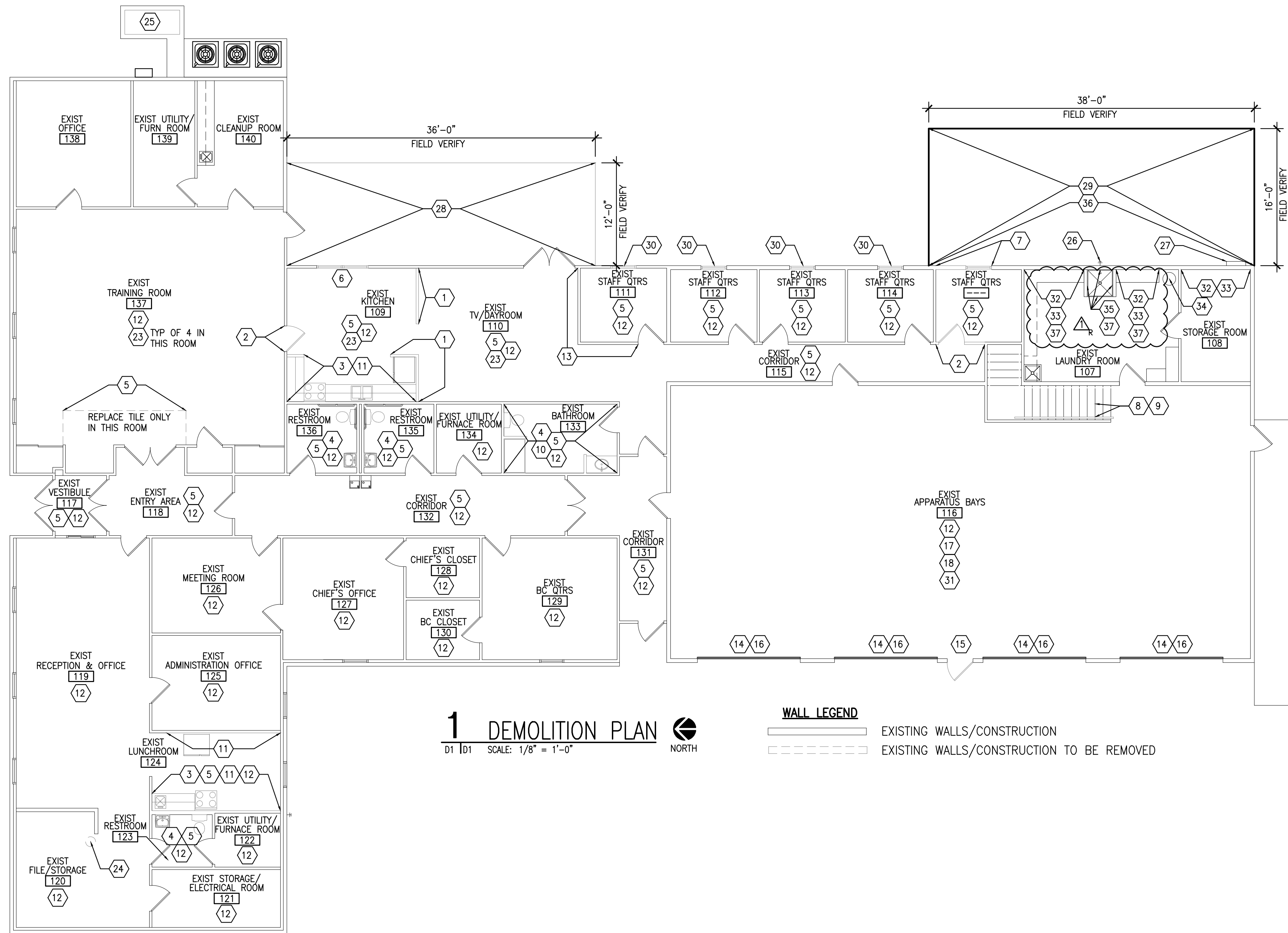


Michael J. Baalman
ARCHITECT

PROJECT MANAGER: JKL
DRAWN BY: JKL

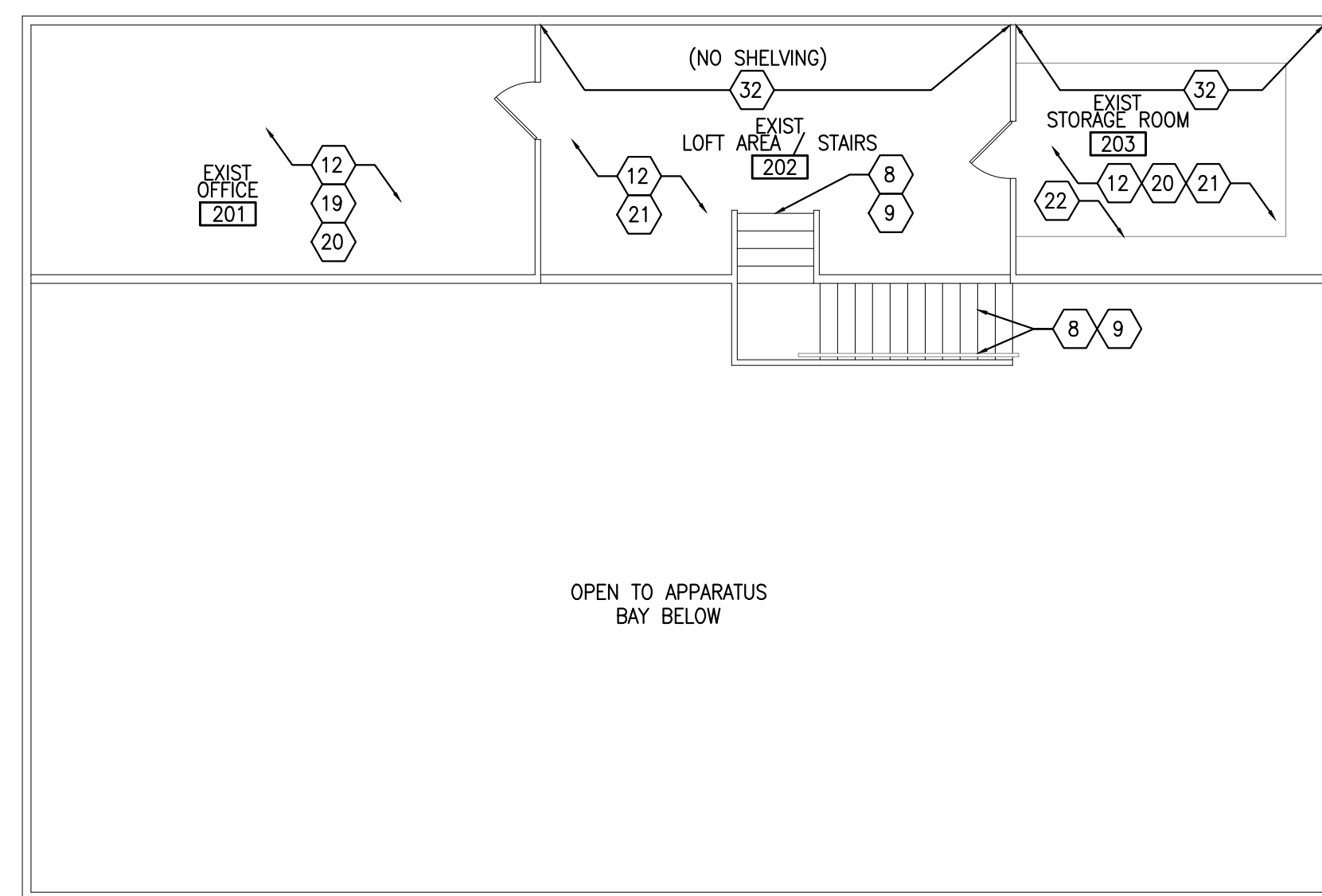
PROJECT NUMBER
21-083
DATE
March 7, 2022

SHEET
A0
COVER SHEET
& CODE INFO.



1 DEMOLITION PLAN
 D1 D1 SCALE: 1/8" = 1'-0" NORTH

WALL LEGEND
 ———— EXISTING WALLS/CONSTRUCTION
 - - - - - EXISTING WALLS/CONSTRUCTION TO BE REMOVED



2 MEZZANINE DEMOLITION PLAN
 D1 D1 SCALE: 1/8" = 1'-0" NORTH

DEMOLITION GENERAL NOTES

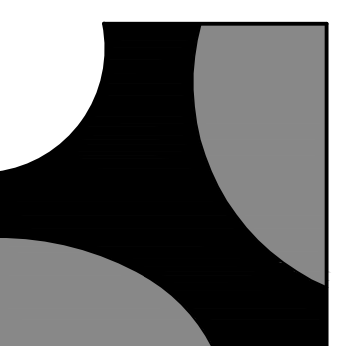
1. ALL DEMOLISHED MATERIALS AND DEBRIS SHALL BE DISPOSED AS DIRECTED AND AREAS SHALL BE CLEANED IN ITS ENTIRETY.
2. COORDINATE REMOVAL OF EXISTING INTERIOR PARTITIONS, DOORS, WINDOWS, FIXTURES, ETC. WITH NEW CONSTRUCTION AS SHOWN ON THE REMAINDER OF THE CONSTRUCTION DOCUMENTS.
3. DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. FOLLOW PROCEDURES OUTLINED IN SPECIFICATIONS FOR REQUIREMENTS TO VISIT SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK.
4. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE SPACE WHICH AFFECTS NEW CONSTRUCTION. THE OWNER MUST BE NOTIFIED PRIOR TO SHUTDOWN OF ANY SHARED MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS.
5. SERVICES WITHIN WALLS AND PARTITIONS BEING REMOVED, SHALL ALSO BE REMOVED. EDGES OF WALLS SHOWN TO REMAIN SHALL BE SAW CUT OR CLEANLY TOOTHED TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
6. EXISTING CONSTRUCTION SHOWN TO REMAIN INCLUDING BUT NOT LIMITED TO WALLS, PARTITIONS, DOORS, FRAMES, ETC. SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION.
7. PROVIDE ALL NECESSARY SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN. SHORING AND BRACING SHALL BE DESIGNED BY CONTRACTOR'S PROFESSIONAL ENGINEER LICENSED IN THE APPLICABLE JURISDICTION.
8. PROVIDE TEMPORARY WEATHER PROTECTION AND SECURITY DEVICES DURING INTERIOR DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR TO INTERIOR AREAS OF EXISTING BUILDING.
9. EXISTING CONCRETE FLOOR SLABS, MASONRY WALLS AND EXISTING FRAMING SYSTEMS SHOWN TO BE REMOVED SHALL BE CLEANLY SAW CUT FROM EXISTING CONSTRUCTION.
10. ALL IN-FILL OR REPLACEMENT WORK SHALL MATCH EXISTING CONDITIONS IN MATERIALS, CONSTRUCTION AND FINISH, UNLESS SPECIFICALLY NOTED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS.
11. REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
12. COORDINATE WITH OWNER ANY AND ALL EXISTING ITEMS TO BE REUSED.
13. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND CORRELATE DIMENSIONS PRIOR TO PROVIDING THE WORK DETAILED IN THESE DRAWINGS AND SHALL PROMPTLY NOTIFY ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES.
14. OTHER DEMOLITION REQUIREMENTS MAY BE NOTED ON ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS. REFER TO APPLICABLE DRAWINGS.
15. INTERIOR SPACE MUST BE HEATED DURING INCLEMENT WEATHER TO PREVENT WATER LINES FROM FREEZING.
16. ALL POINT OF CONNECTIONS AT UTILITIES TO REMAIN - REFER TO ELECTRICAL, MECHANICAL AND PLUMBING FOR ANY NEW UTILITY ROUTING AND REQUIREMENTS.
17. DURING ANY DEMOLITION OF CONCRETE FLOOR SLAB - CONTRACTOR SHALL TAKE CARE AS NOT TO DISTURB EXISTING COLUMNS AND FOOTINGS.

CONTRACTORS NOTES

1. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE PRIOR TO SUBMITTING PROPOSAL ON THE PROJECT AND NOTIFY ARCHITECT AS TO ANY DISCREPANCIES OR CHANGES DISCOVERED.
2. ALL WORK TO BE COMPLIANT WITH THE CODES AS LISTED IN THE CODE INFORMATION SUMMARY ON THE COVER SHEET.
3. REMOVE ALL EXISTING ELECTRICAL RECEPTACLES, WALL SWITCHES AND COVER PLATES AND PREPARE TO INSTALL ALL NEW ELECTRICAL RECEPTACLES, WALL SWITCHES AND COVER PLATES.
4. INSPECT ALL DOORS AND DOORFRAMES TO MAKE SURE THEY ARE IN GOOD CONDITION AND PROPER WORKING ORDER AND REPAIR OR PATCH AS NECESSARY. PREPARE TO RE-STAIN ALL INTERIOR DOORS AND PAINT DOORFRAMES.
5. INSPECT ALL DOOR HARDWARE TO MAKE SURE IT IS IN GOOD CONDITION AND PROPER WORKING ORDER AND REPAIR OR REPLACE AS NECESSARY.

DEMOLITION & EXISTING CONDITIONS KEYED NOTES

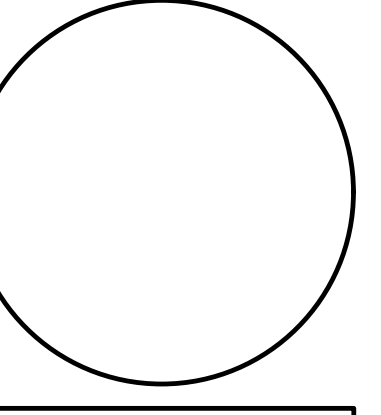
1. REMOVE PARTITION WALLS COMPLETE AND PREPARE FOR NEW CONSTRUCTION. REPAIR, PATCH & PREPARE FLOORING AS REQUIRED FOR NEW CONSTRUCTION.
2. REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY AND DISPOSE OF AS REQUIRED. PREPARE FOR NEW CONSTRUCTION.
3. REMOVE EXISTING KITCHEN CABINETS, COUNTER, SINK, STOVE, ETC. AND PREPARE AREA FOR KITCHEN CONSTRUCTION. STOVE IN BREAKROOM TO BE STORED AND RE-INSTALLED DURING NEW CONSTRUCTION.
4. REMOVE EXISTING PLUMBING FIXTURES COMPLETE AND PREPARE FOR NEW PLUMBING FIXTURES TO BE INSTALLED IN EXISTING LOCATIONS.
5. REMOVE ALL FLOORING COMPLETE INCLUDING WALL BASE (CARPET AND/OR TILE). REPAIR, PATCH AND PREPARE FLOOR TO RECEIVE NEW FLOORING. SEE ROOM FINISH SCHEDULE ON ARCHITECTURAL SHEET AFOR FLOORING MATERIALS.
6. REMOVE PORTION OF EXISTING EXTERIOR WALL AND WINDOW AS REQUIRED AND PREPARE FOR NEW DOOR FOR VERIFY EXACT SIZE AND LOCATION.
7. REMOVE PORTION OF EXISTING EXTERIOR WALL AND WINDOW AS REQUIRED AND PREPARE FOR NEW BUILDING ADDITION IN THIS AREA. VERIFY EXACT SIZE AND LOCATION.
8. EXISTING EXTERIOR STAIRS TO REMAIN. REMOVE EXISTING HANDRAIL COMPLETE AND PREPARE FOR NEW HANDRAILS ON BOTH SIDES OF THE STAIRS.
9. REMOVE RUBBER RISER MATERIAL FROM THE STAIRS AND PREPARE THEM TO RECEIVE RUBBER TREADS AND RISERS.
10. REMOVE EXISTING PLUMBING FIXTURES INCLUDING SHOWER COMPLETE AND REMOVE GYPSUM BOARD AND TILE WALLS DOWN TO THE STUDS AND PREPARE FOR NEW BATHROOM CONSTRUCTION.
11. REMOVE KITCHEN AND BREAKROOM SIDE OF GYPSUM BOARD WALLS COMPLETE DOWN TO THE STUDS AND PREPARE FOR NEW KITCHEN CONSTRUCTION INCLUDING ELECTRICAL AND PLUMBING WORK.
12. PATCH AND/OR REPAIR ALL GYPSUM BOARD WALLS THAT ARE TO REMAIN AND RECEIVE NEW FLOORING AND GYPSUM BOARD WALLS.
13. PREPARE DAY ROOM #10 WALL SIDE OF SLEEPING QUARTERS ROOM #111 TO RECEIVE NEW FLOORING AND GYPSUM BOARD WALLS.
14. REMOVE EXISTING OVERHEAD DOOR, DOORFRAME, DOOR TRACK AND DOOR OPERATOR COMPLETE AND PREPARE OPENING FOR NEW OVERHEAD DOOR, DOORFRAME, DOOR TRACK AND OPERATOR.
15. REMOVE EXISTING H.M. DOOR AND DOORFRAME COMPLETE AND PREPARE OPENING FOR NEW H.M. DOOR AND DOORFRAME.
16. REMOVE ANY DAMAGED DOOR JAMB MATERIAL (METAL COVER AND/OR WOOD) AS NECESSARY AND PREPARE REPLACE WITH LIKE MATERIALS.
17. REMOVE DIRT AND OIL FROM THE CONCRETE FLOOR AND PREPARE FLOOR SLAB TO RECEIVE NEW EPOXY COATINGS.
18. REMOVE DIRT, OIL, SOOT, ETC. FROM WALLS AND PREPARE WALLS (METAL PANELS AND GYPSUM BOARD) TO BE PAINTED.
19. REMOVE CARPET, REPAIR AND PATCH FLOOR AS NECESSARY AND PREPARE FLOOR TO RECEIVE A WOOD SUB-FLOOR AND NEW LVT FLOORING MATERIAL.
20. PREPARE CEILING TO RECEIVE A NEW LAYER OF GYPSUM BOARD TO BE LAMINATED TO THE EXISTING GYPSUM BOARD. REMOVE AND REINSTALL EXISTING LIGHTING AS NECESSARY.
21. REPAIR AND PATCH FLOOR AS NECESSARY AND PREPARE FLOOR TO RECEIVE A WOOD SUB-FLOOR AND NEW LVT FLOORING MATERIAL.
22. REMOVE ALL WOOD SHELVING COMPLETE AND PREPARE WALLS TO RECEIVE NEW GYPSUM BOARD.
23. REMOVE EXISTING CEILING FANS AND PREPARE TO INSTALL NEW CEILING HUGGER TYPE CEILING FANS.
24. REMOVE EXISTING CEILING FAN (BLADES HAVE BEEN REMOVED) AND INSTALL A COVER PLATE.
25. REMOVE EXISTING PROPANE GAS GENERATOR IN ITS ENTIRETY AND PREPARE FOR INSTALLATION OF A NEW PROPANE GAS GENERATOR. COORDINATE THIS WORK AS TO PROVIDE MINIMAL DOWN TIME BETWEEN GENERATOR REMOVAL AND REPLACEMENT.
26. REMOVE AND CAP OFF EXISTING HOSE BIBB IN LOCATION FOR NEW BUILDING ADDITION.
27. EXISTING ELECTRICAL PANEL AND DISCONNECT TO BE REWORKED IN LOCATION FOR NEW BUILDING ADDITION. SEE SHEET A7.
28. REMOVE THE EXISTING CONCRETE PATIO AND PREPARE AREA FOR A NEW CONCRETE PATIO. SEE FLOOR PLAN FOR EXTENT OF NEW CONCRETE PATIO.
29. PREPARE AREA FOR NEW BUILDING ADDITION. SEE FLOOR PLAN.
30. REMOVE EXISTING WINDOW AND PREPARE FOR NEW REPLACEMENT WINDOW.
31. REMOVE EXISTING ELECTRICAL CORD DROPS AND PREPARE TO INSTALL NEW CORD DROPS. SEE SHEET A7.
32. REMOVE WOOD SHELVING AND SAVE TO BE REINSTALLED AFTER NEW GYP. BD. IS INSTALLED. PREPARE WALL TO RECEIVE TWO (2) LAYERS OF 8" GYP. BD.
33. EXISTING GYP. BD. SOFFIT MAY HAVE TO BE PARTIALLY REMOVED AND RECONSTRUCTED AFTER NEW GYP. BD. WALL IS CONSTRUCTED.
34. EXISTING WATER HEATER MAY HAVE TO BE REMOVED AND RE-INSTALLED TO CONSTRUCT THE NEW GYP. BD. WALL.
35. REMOVE EXISTING SHOWER SURROUND AND DISPOSE OF PER OWNER DIRECTION. PREPARE BACK WALL FOR ADDITIONAL GYP. BOARD LAYERS AND FOR INSTALLATION OF NEW MOP BASIN AND FRP ON SURROUNDING WALLS.
36. REMOVE EXISTING SIDING & TRIM AND SAVE SOME FOR RE-USE ON REAR WALL NEXT TO NEW DOOR. INSPECT CONDITION OF EXISTING EXTERIOR SHEATHING AND REPORT. PREPARE WALL FOR NEW CONSTRUCTION. SEE FLOOR PLAN, REFLECTED CEILING PLAN AND WALL SECTION SHEETS.
37. REMOVE EXISTING HVAC DUCTWORK AND SAVE TO BE RE-INSTALLED FOLLOWING THE ADDITIONAL GYP. BOARD LAYERS.



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 Troy, Missouri 63379

IR#	DATE	ISSUE
1	2-21-2022	BID & PERMIT SET
2	3-7-2022	ADDENDUM No 1

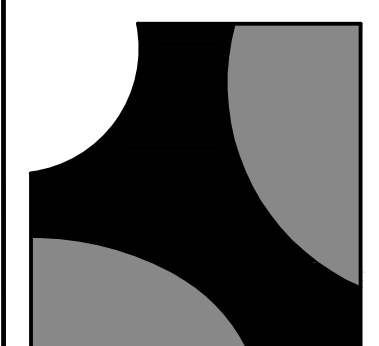


Michael J. Baalman
 ARCHITECT

PROJECT MANAGER: JKL
 DRAWN BY: JKL

PROJECT NUMBER
 21-083
 DATE
 March 7, 2022

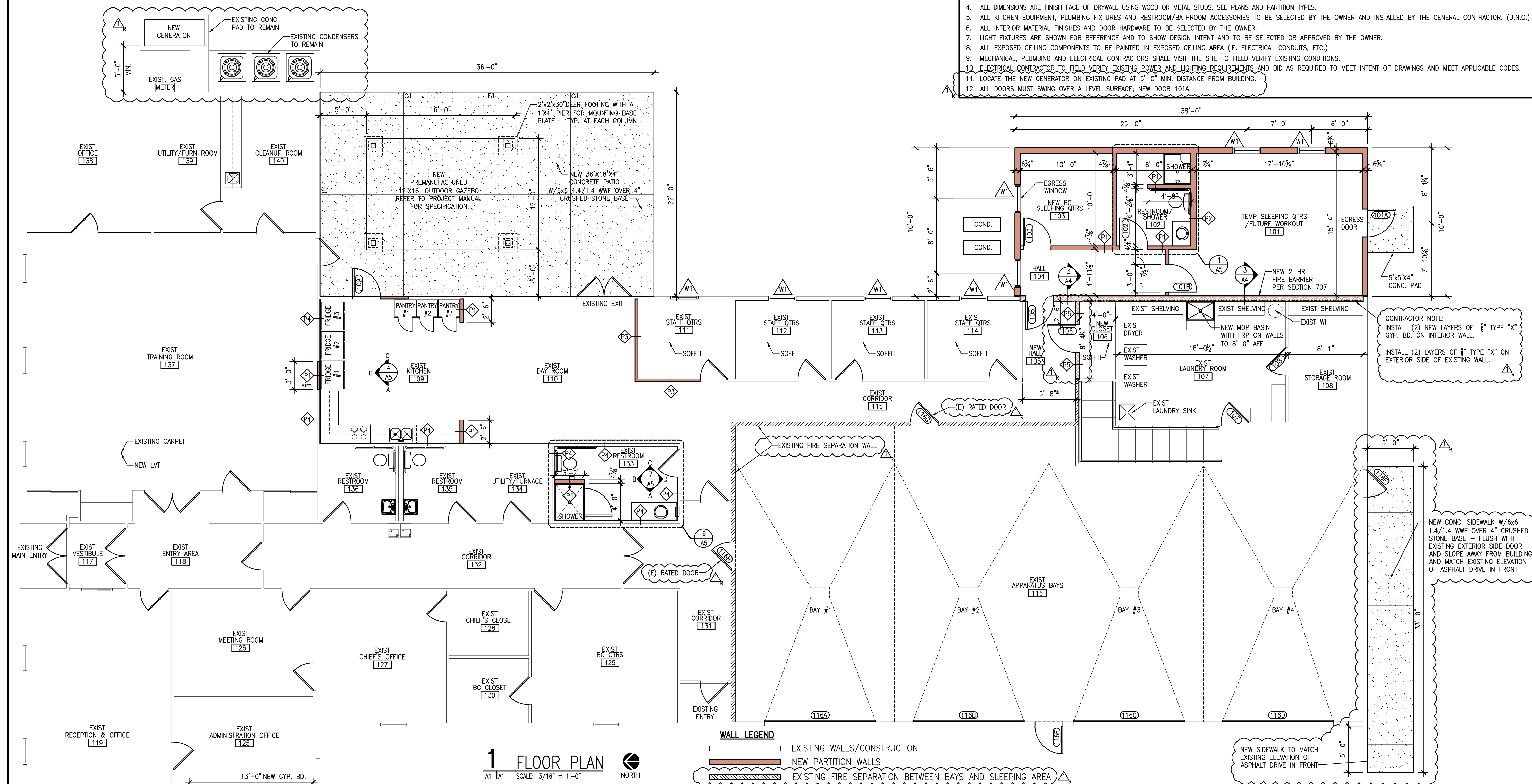
SHEET
D1
 DEMOLITION PLAN



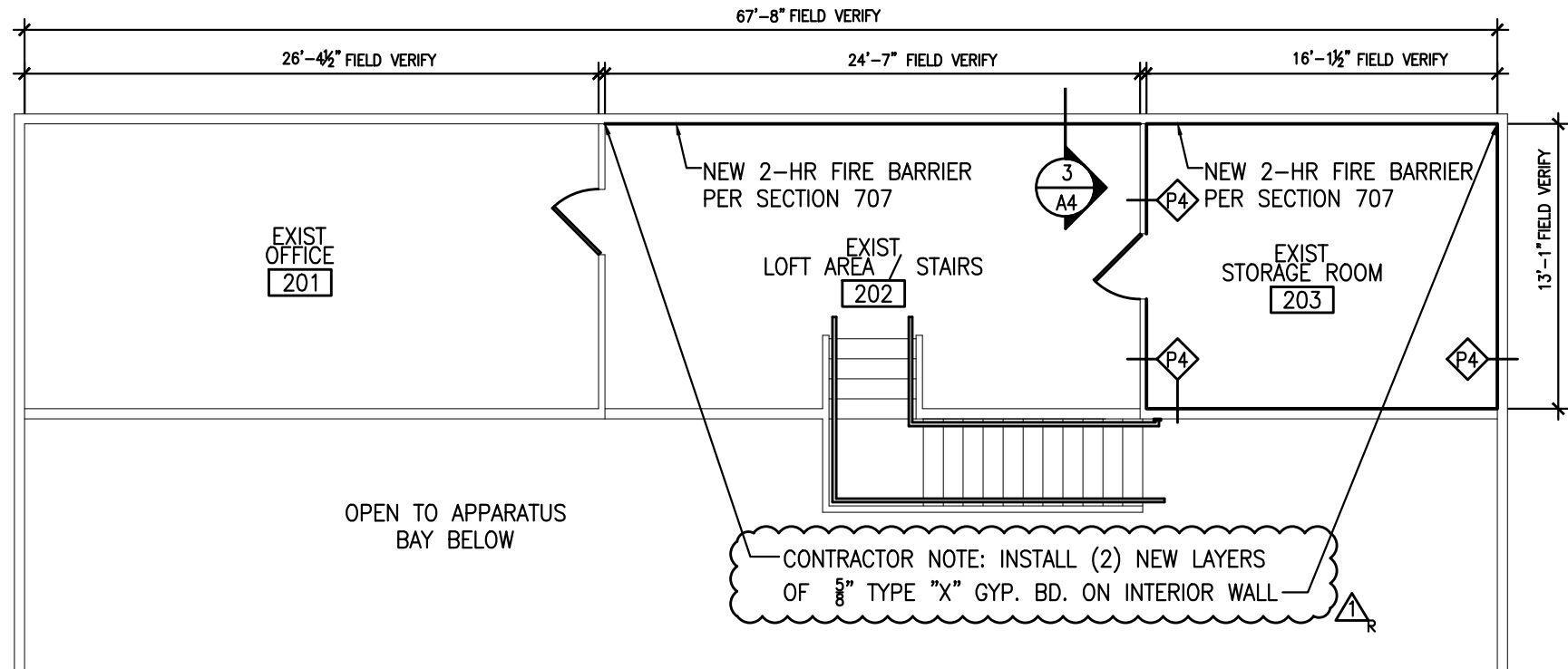
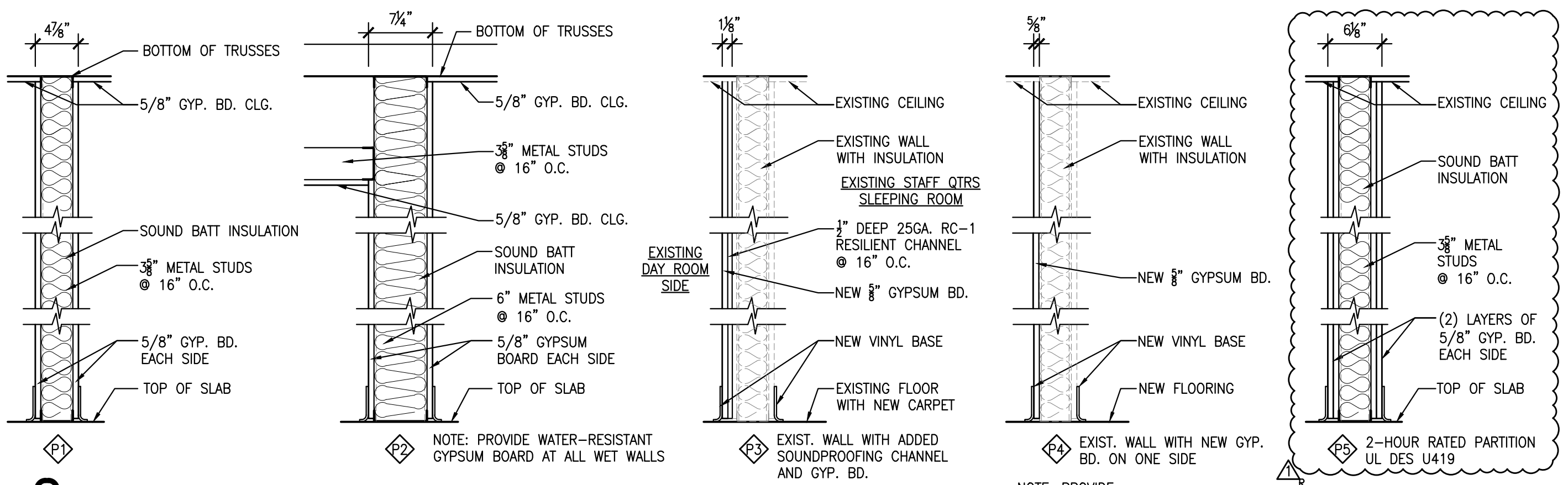
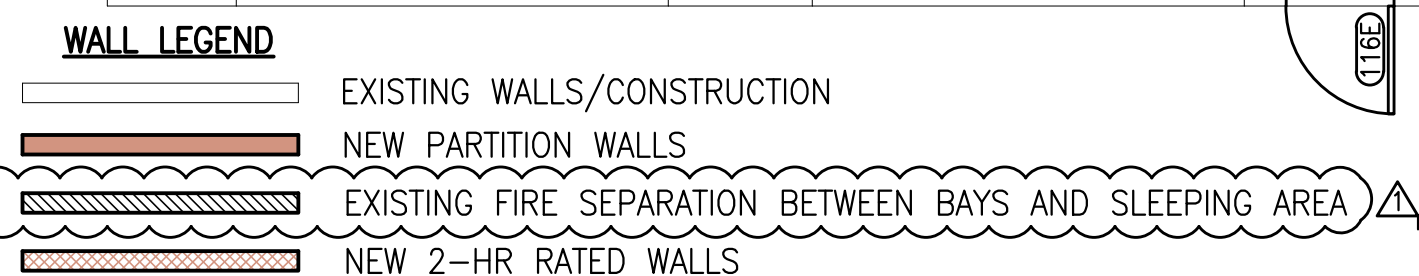
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GENERAL NOTES:

- ALL WORK TO BE COMPLIANT WITH THE CODES AS LISTED IN THE CODE INFORMATION SUMMARY ON THE COVER SHEET.
- CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE AND NOTIFY THE ARCHITECT AS TO ANY DISCREPANCIES OR CHANGES DISCOVERED.
- REFER TO ROOM FINISH SCHEDULE AND PROJECT MANUAL FOR ROOM TO ROOM SCOPE OF WORK REQUIRED FOR EACH ROOM.
- ALL DIMENSIONS ARE FINISH FACE OF DRYWALL USING WOOD OR METAL STUDS. SEE PLANS AND PARTITION TYPES.
- ALL KITCHEN EQUIPMENT, PLUMBING FIXTURES AND RESTROOM/BATHROOM ACCESSORIES TO BE SELECTED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. (U.N.O.)
- ALL INTERIOR MATERIAL FINISHES AND DOOR HARDWARE TO BE SELECTED BY THE OWNER.
- LIGHT FIXTURES ARE SHOWN FOR REFERENCE AND TO SHOW DESIGN INTENT AND TO BE SELECTED OR APPROVED BY THE OWNER.
- ALL EXPOSED CEILING COMPONENTS TO BE PAINTED IN EXPOSED CEILING AREA (IE. ELECTRICAL CONDUITS, ETC.)
- MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL VISIT THE SITE TO FIELD VERIFY EXISTING CONDITIONS.
- ELECTRICAL CONTRACTOR TO FIELD VERIFY EXISTING POWER AND LIGHTING REQUIREMENTS AND BID AS REQUIRED TO MEET INTENT OF DRAWINGS AND MEET APPLICABLE CODES.
- LOCATE THE NEW GENERATOR ON EXISTING PAD AT 5'-0" MIN. DISTANCE FROM BUILDING.
- ALL DOORS MUST SWING OVER A LEVEL SURFACE; NEW DOOR 101A.



1 FLOOR PLAN
 AT 1A1 SCALE: 3/16" = 1'-0" NORTH



2 MEZZANINE FLOOR PLAN
 AT 1A1 SCALE: 3/16" = 1'-0" NORTH

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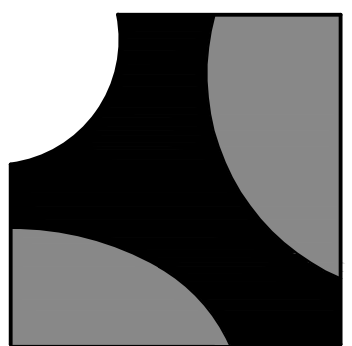
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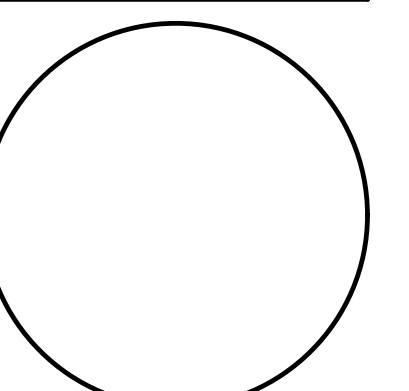
SHEET
A1
 FLOOR PLAN



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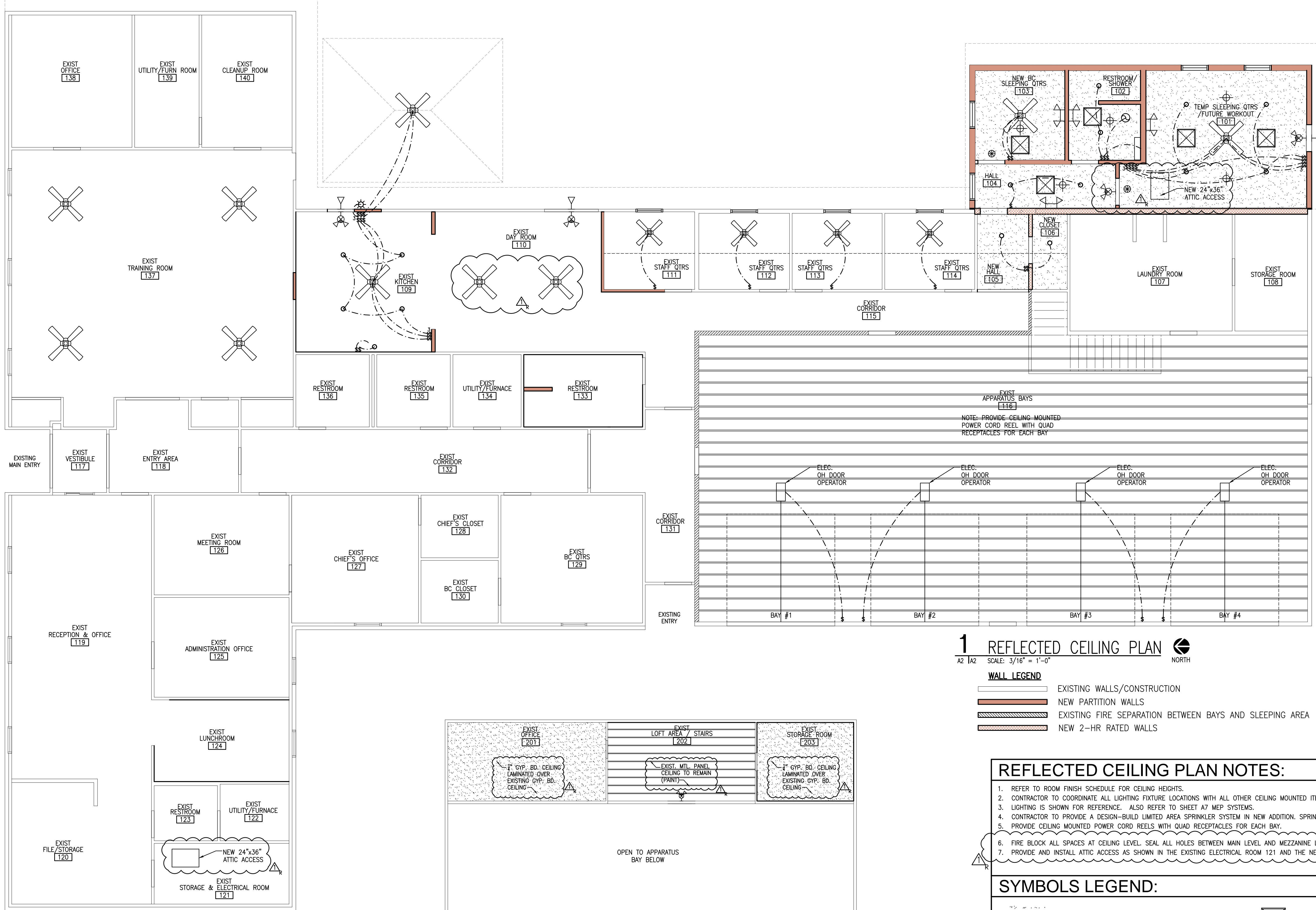


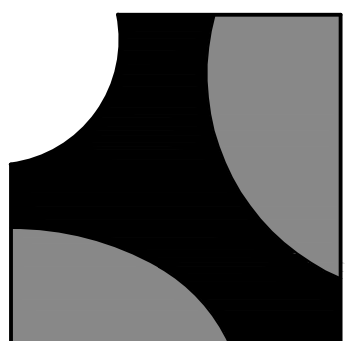
Michael J. Baalman
 ARCHITECT

PROJECT MANAGER: JKL
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PROJECT NUMBER
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SHEET
A2
 REFLECTED
 CEILING
 PLAN



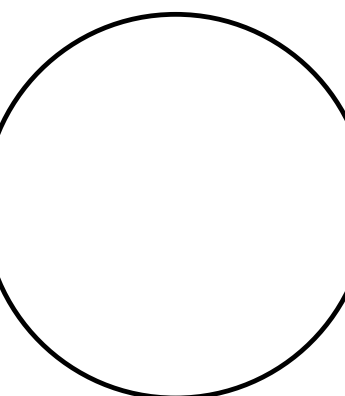


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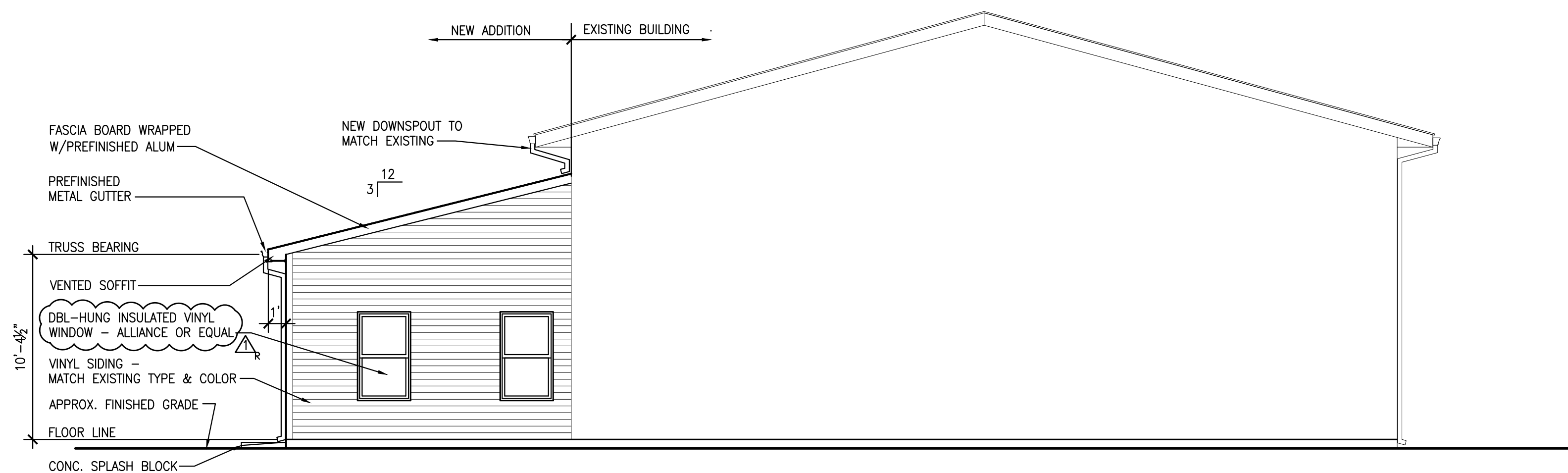
SHEET
A3
EXTERIOR
ELEVATIONS



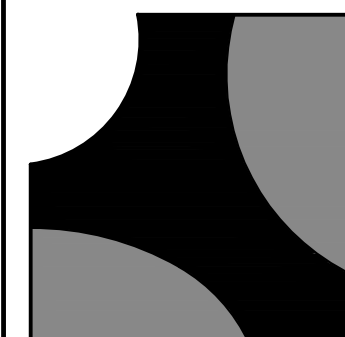
1 SOUTH ELEVATION
A3 I A3 SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
A3 I A3 SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION
A3 I A3 SCALE: 3/16" = 1'-0"

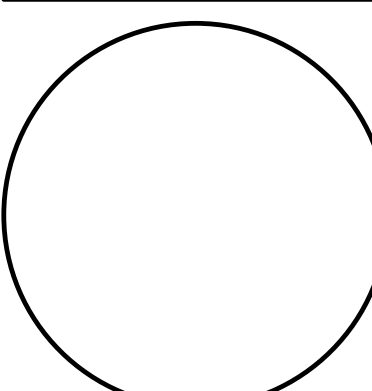


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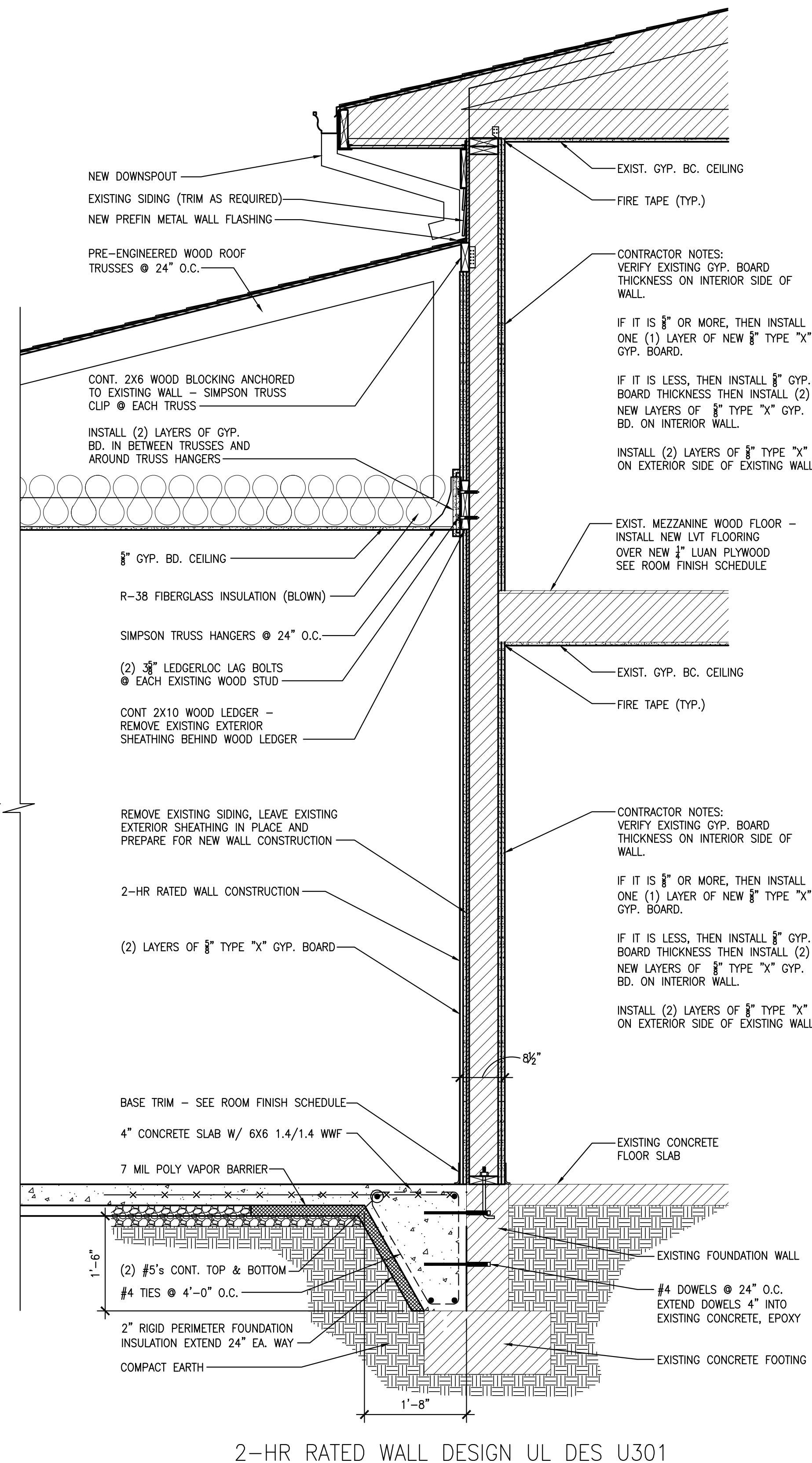
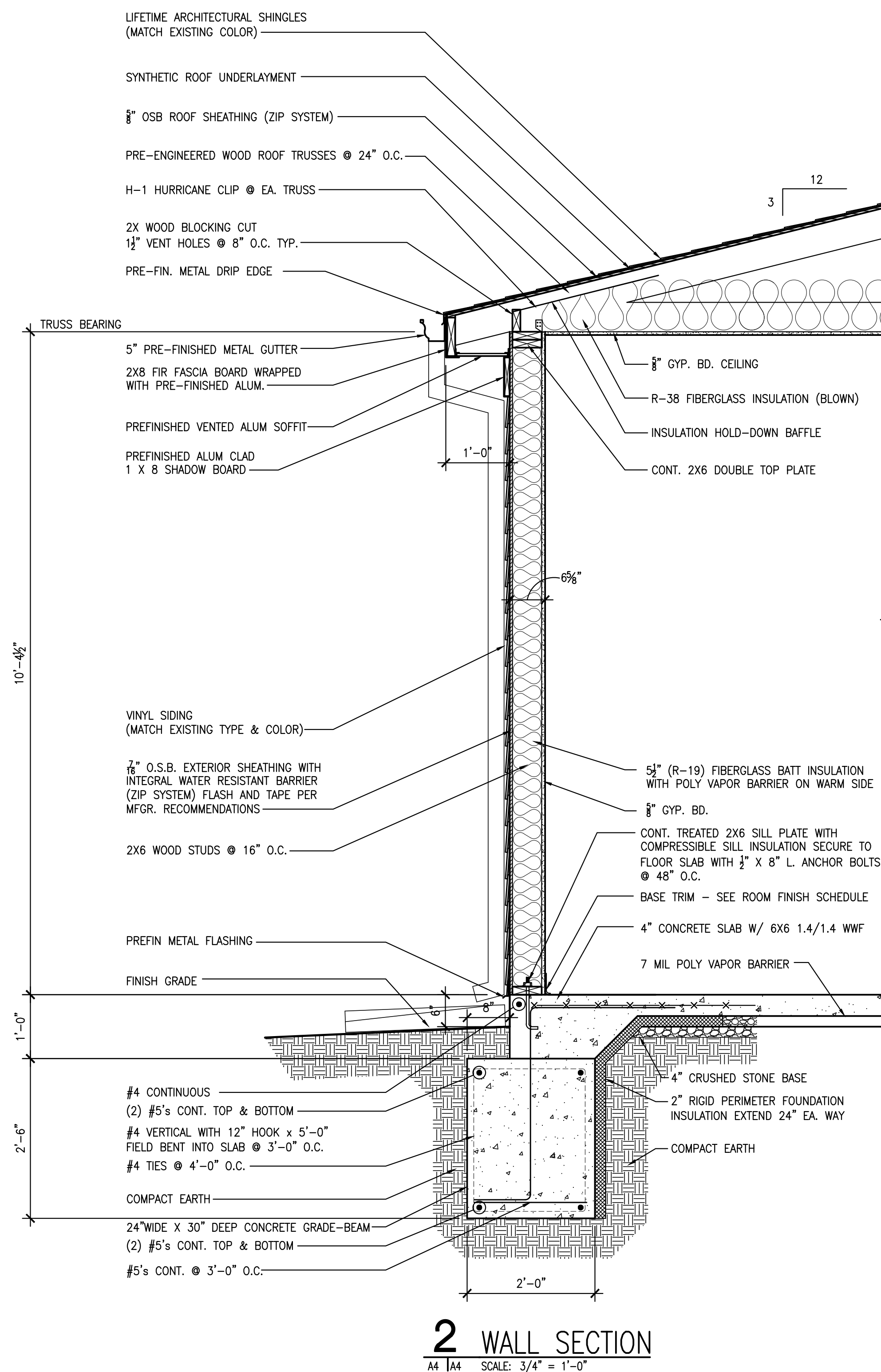
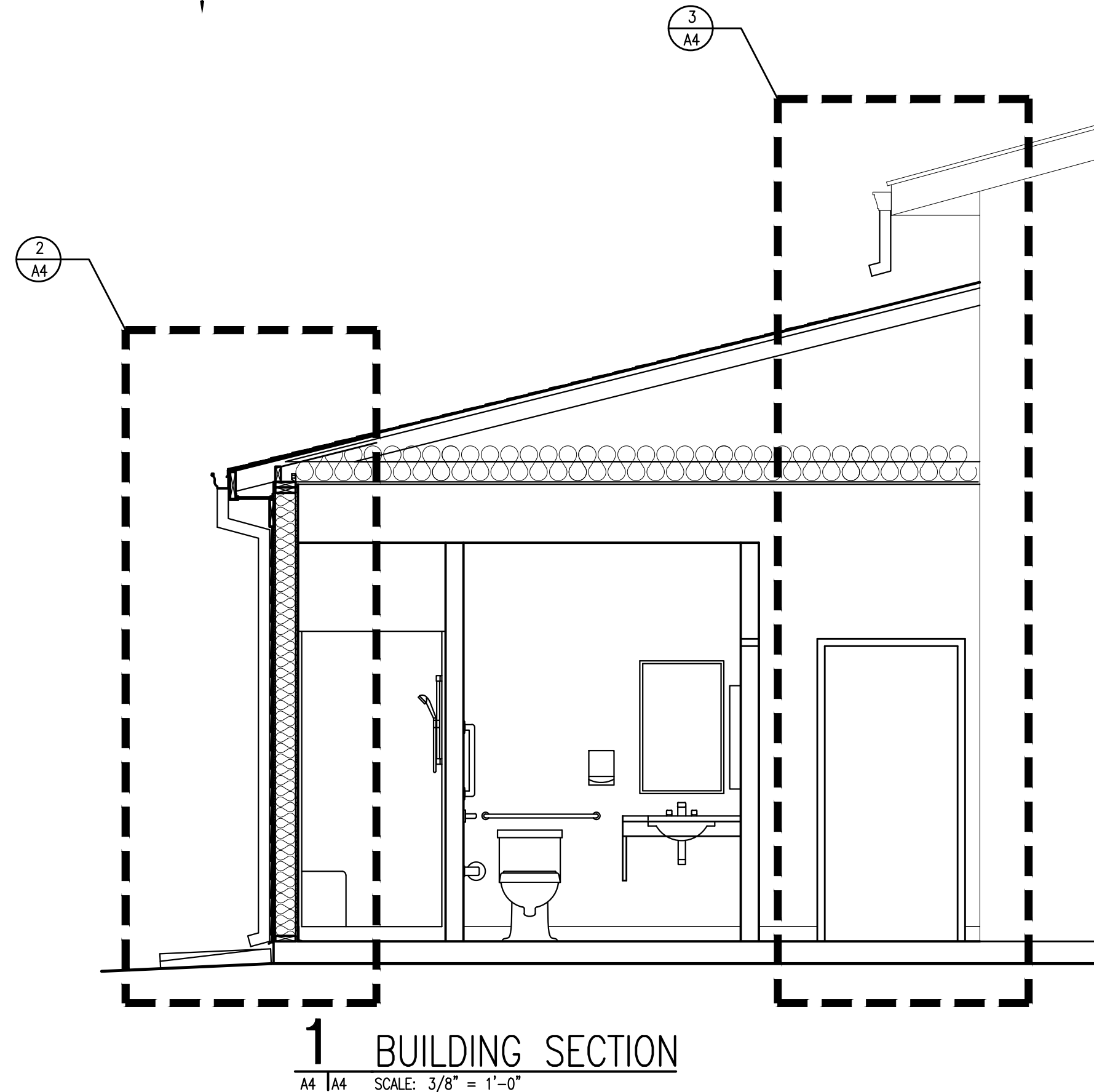
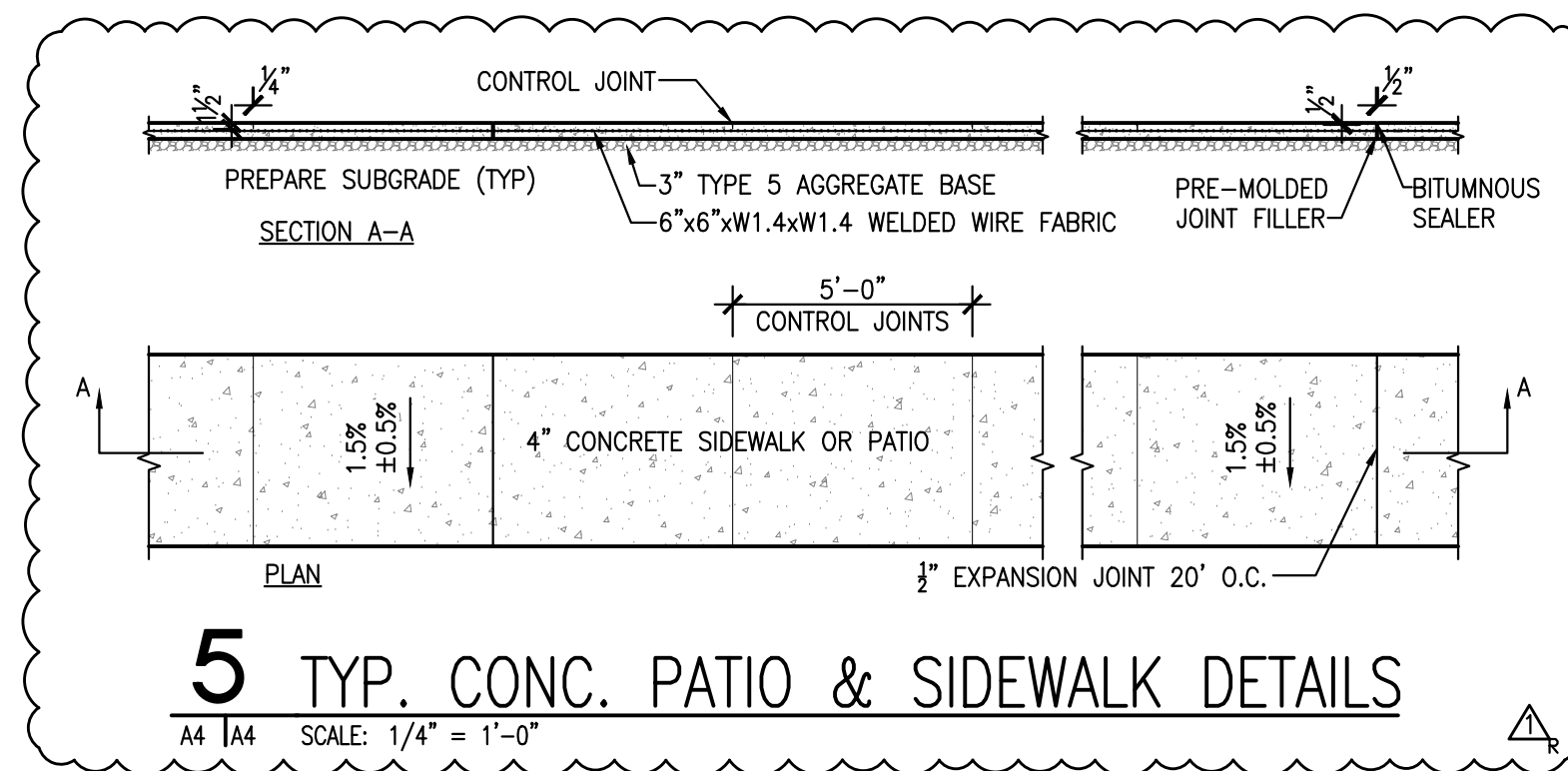
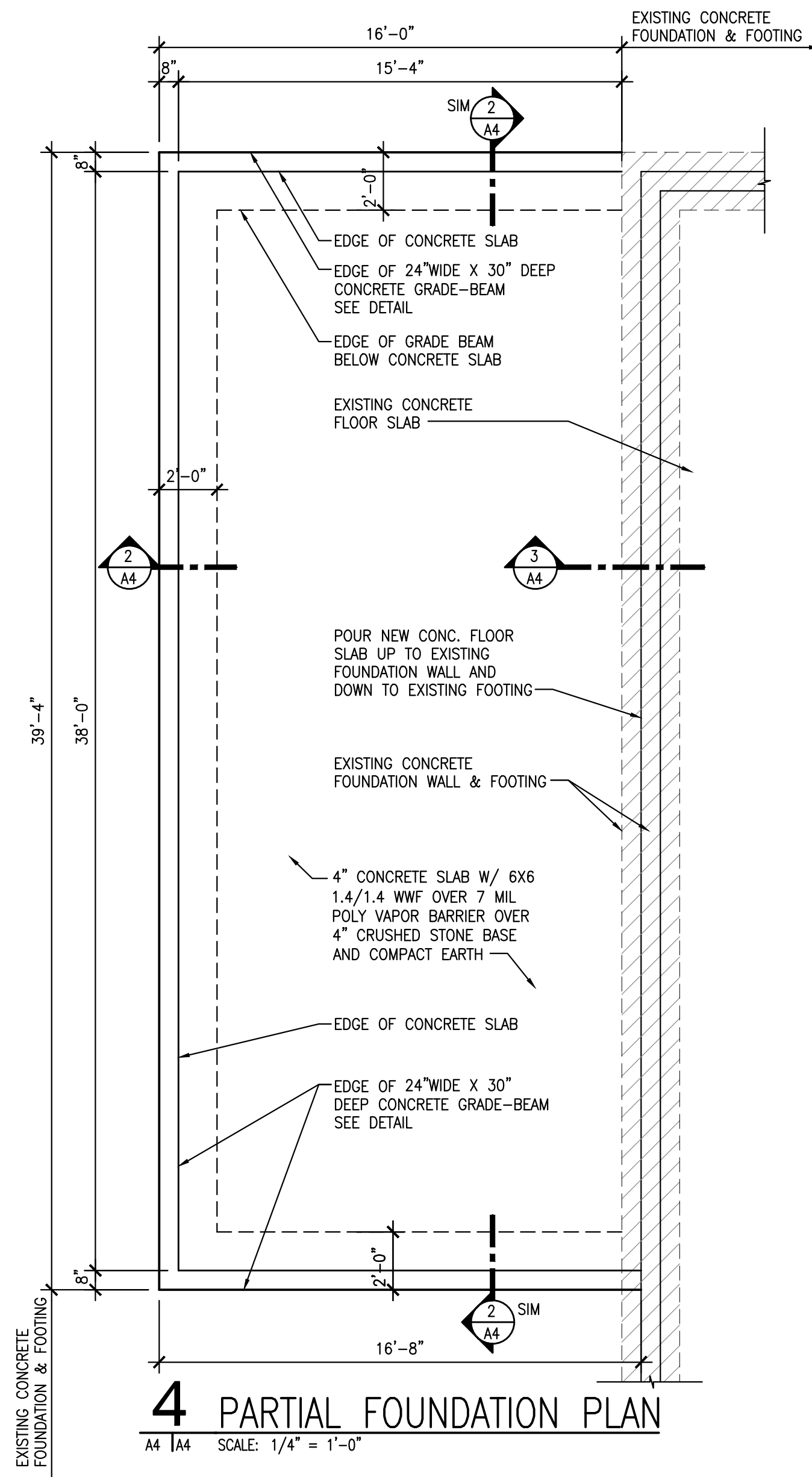


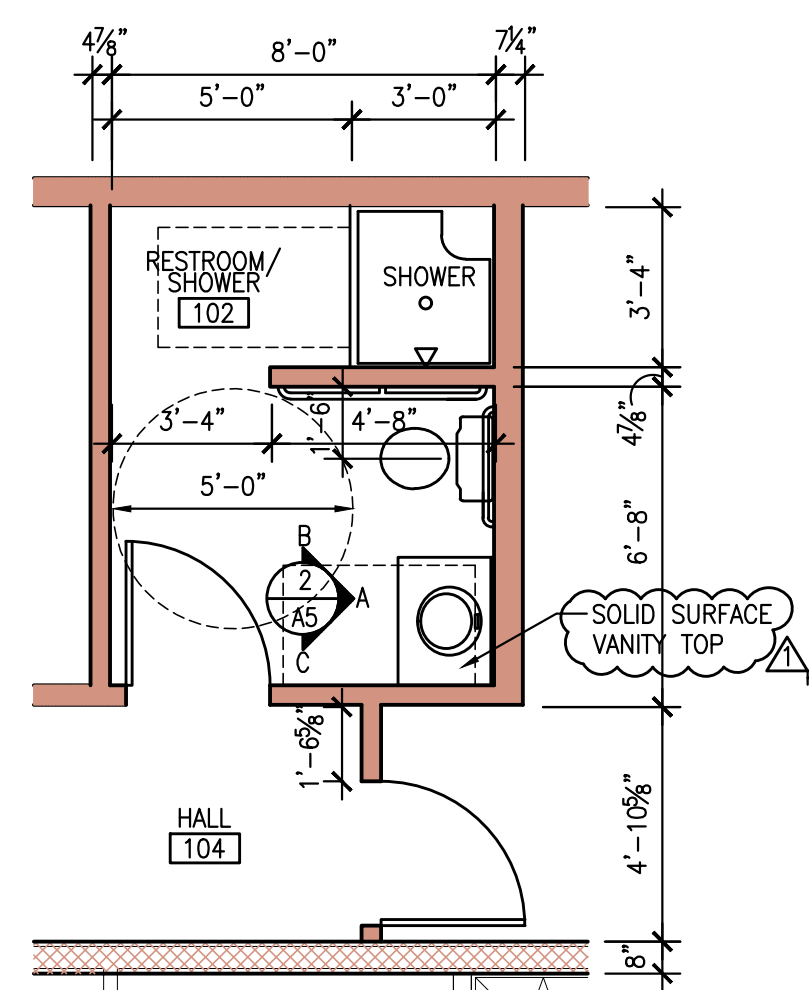
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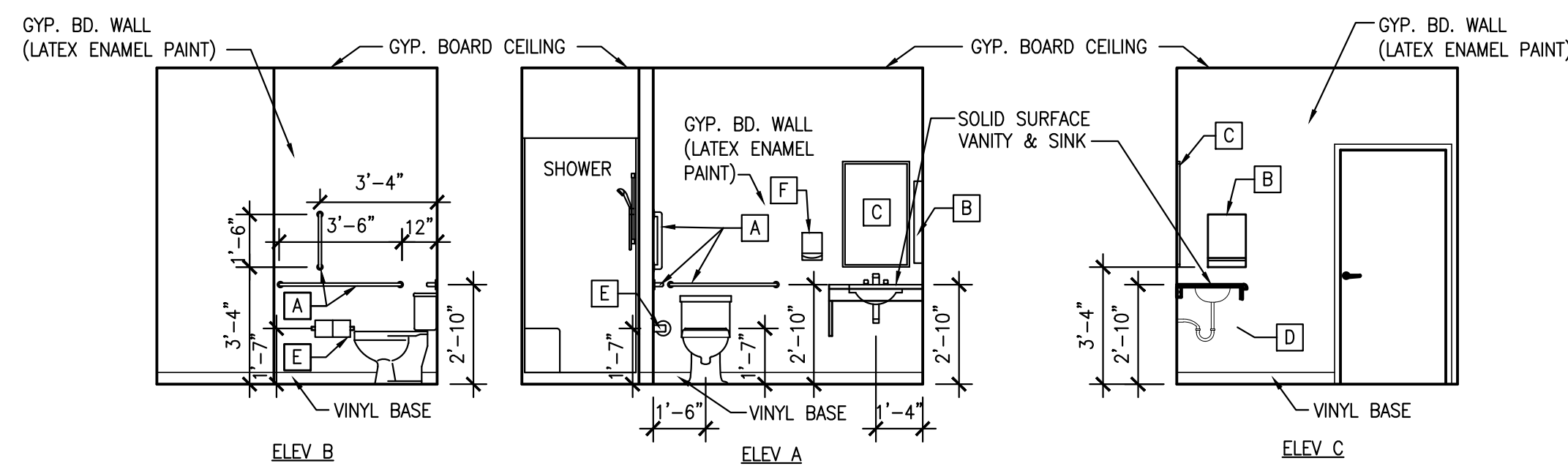
PROJECT NUMBER
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SHEET
A4
WALL
SECTIONS





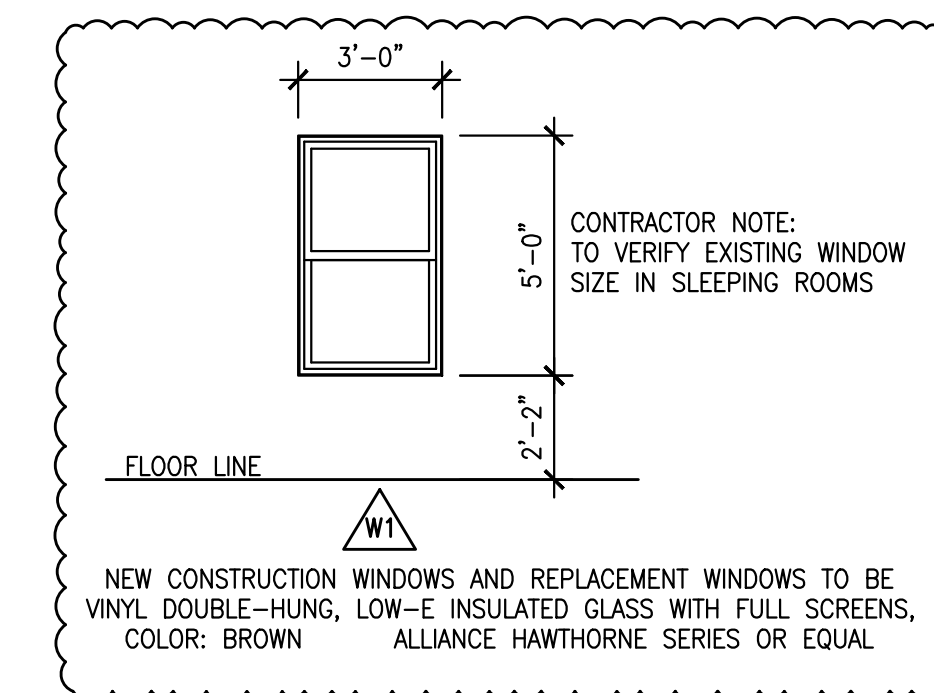
1 RESTROOM PLAN
A5 | A5 SCALE: 1/4" = 1'-0"
NORTH



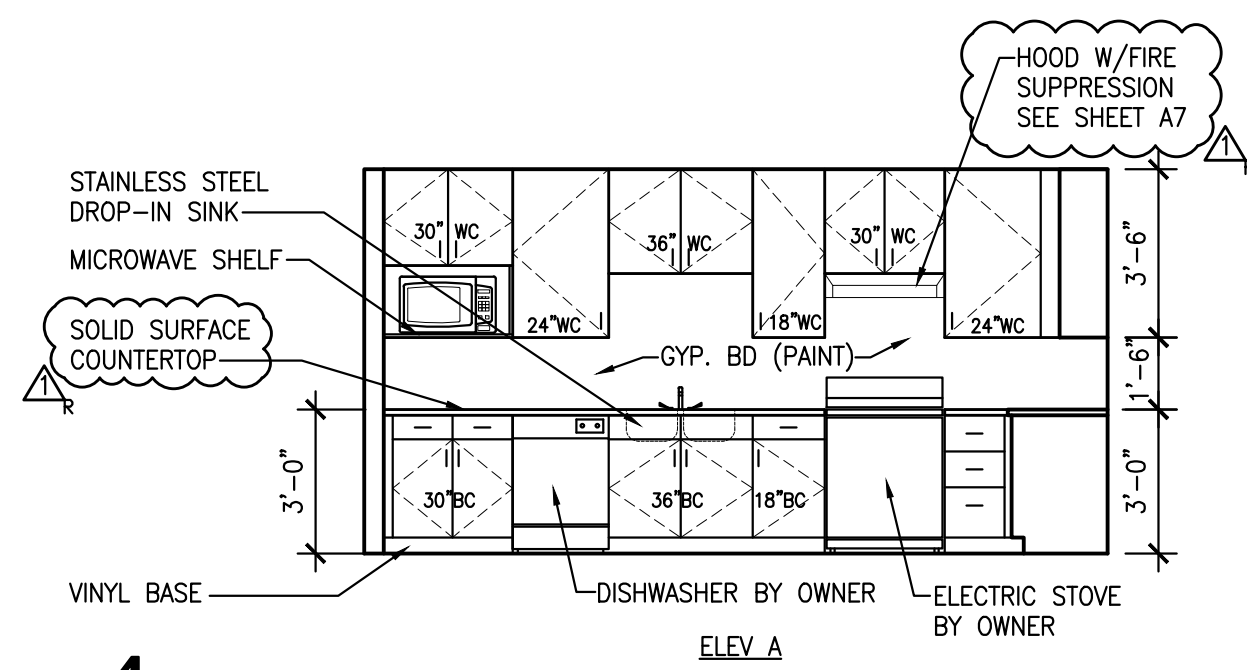
2 RESTROOM 102 ELEVATIONS
A5 | A5 SCALE: 1/4" = 1'-0"

TOILET ACCESSORIES	
NO.	ITEM
A	H.C. GRAB BARS
B	PAPER TOWEL DISPENSER
C	20"x32" H.C. MIRROR
D	INSULATE PIPING PER ADA
E	TOILET PAPER DISPENSER
F	SOAP DISPENSER

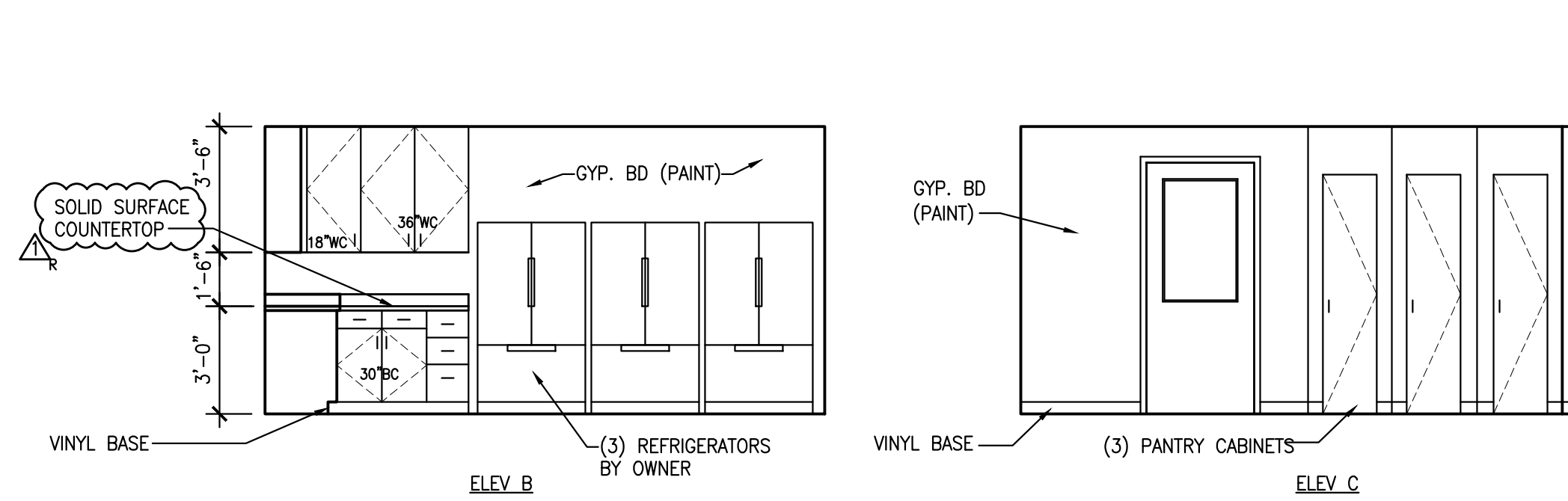
NOTES:
 1. ALL TOILET ACCESSORIES TO BE PROVIDED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
 2. CONTRACTOR SHALL COORDINATE WITH OWNER ON OWNER PROVIDED AND CONTRACTOR INSTALLED ITEMS IN ORDER TO LOCATE REQUIRED BLOCKING.
 3. PROVIDE WOOD BLOCKING FOR ATTACHMENT OF ALL MISC. RESTROOM ACCESSORIES INCLUDING MIRRORS, PAPER HANGER, PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC.
 4. PROVIDE THE REQUIRED TRAP SEAL PRIMER OR ICC APPROVED EQUAL FOR ALL NEW FLOOR DRAINS SUBJECT TO TRAP SEAL LOSS BY EVAPORATION.



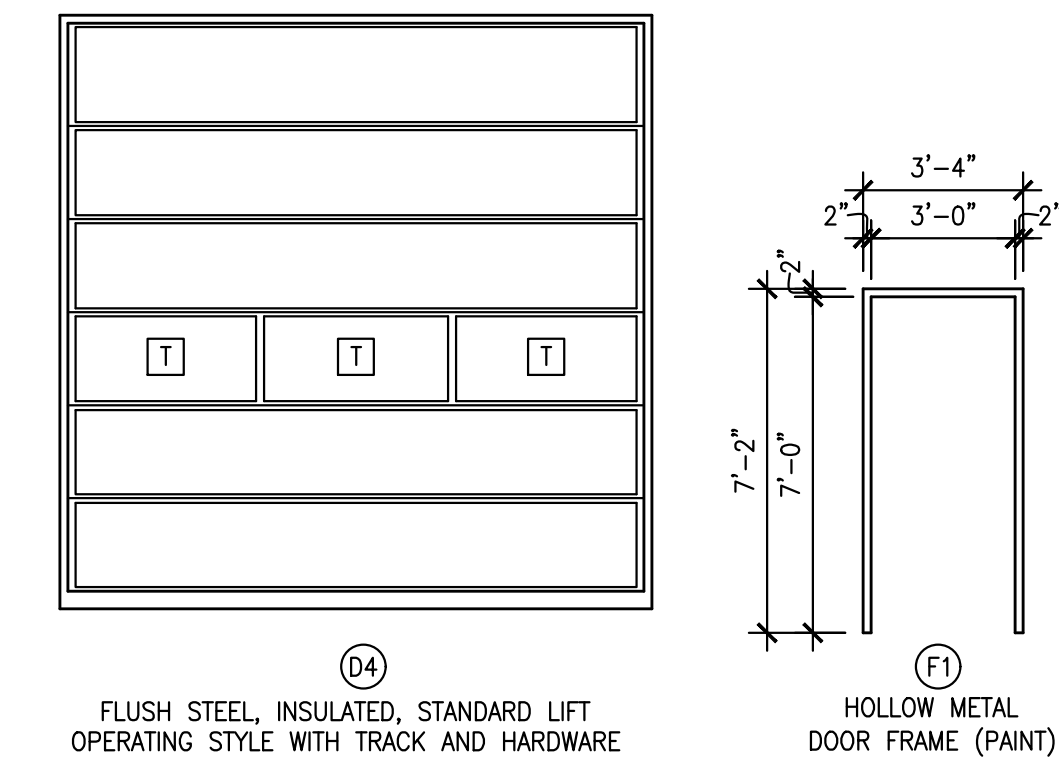
3 WINDOW TYPES
A5 | A5 SCALE: 1/4" = 1'-0"



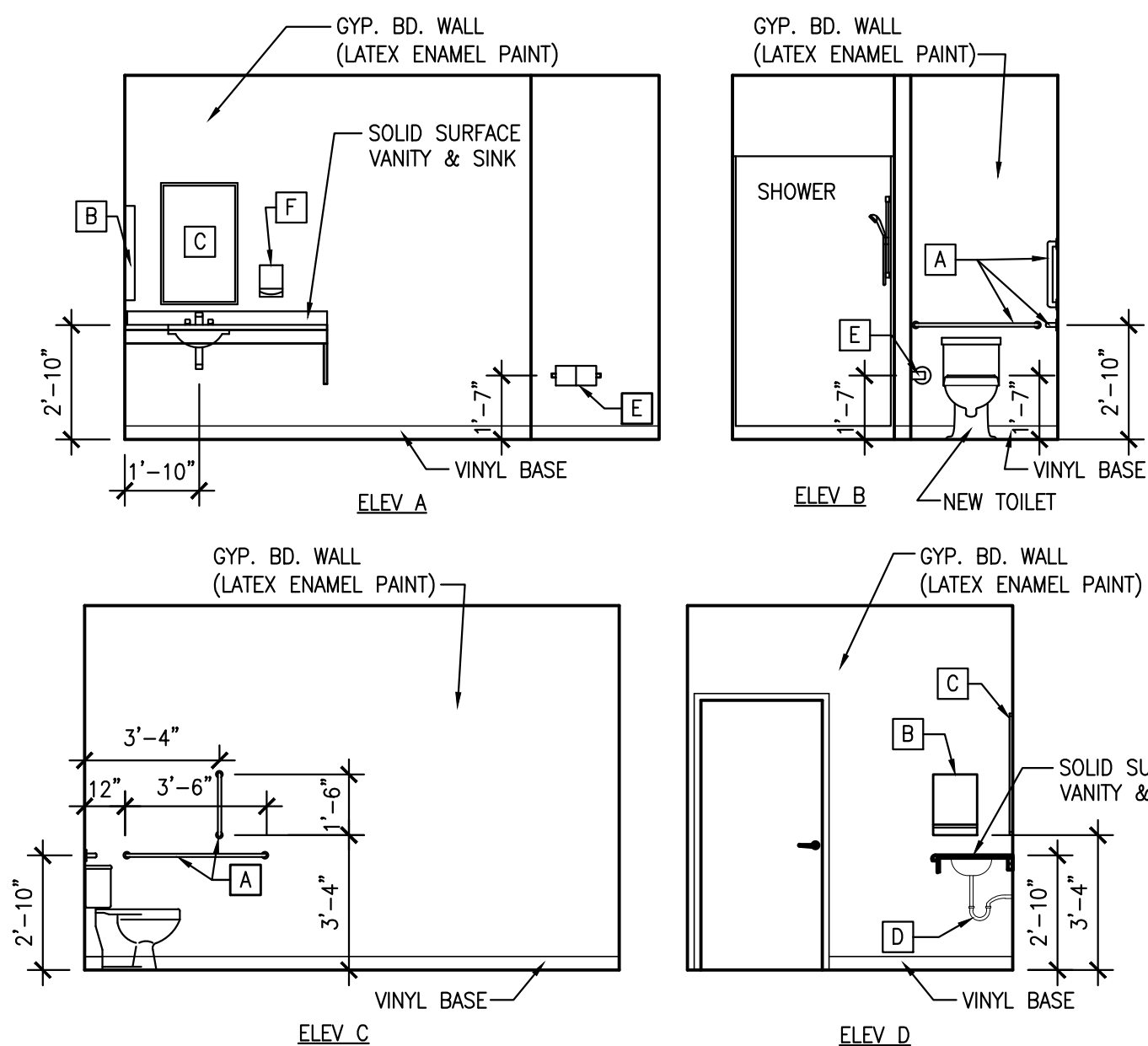
4 INTERIOR ELEVATION
A5 | A5 SCALE: 1/4" = 1'-0"
KITCHEN



5 DOOR & FRAME TYPE
A5 | A5 SCALE: 1/4" = 1'-0"
T TEMPERED GLASS



6 RESTROOM PLAN
A5 | A5 SCALE: 1/4" = 1'-0"
NORTH

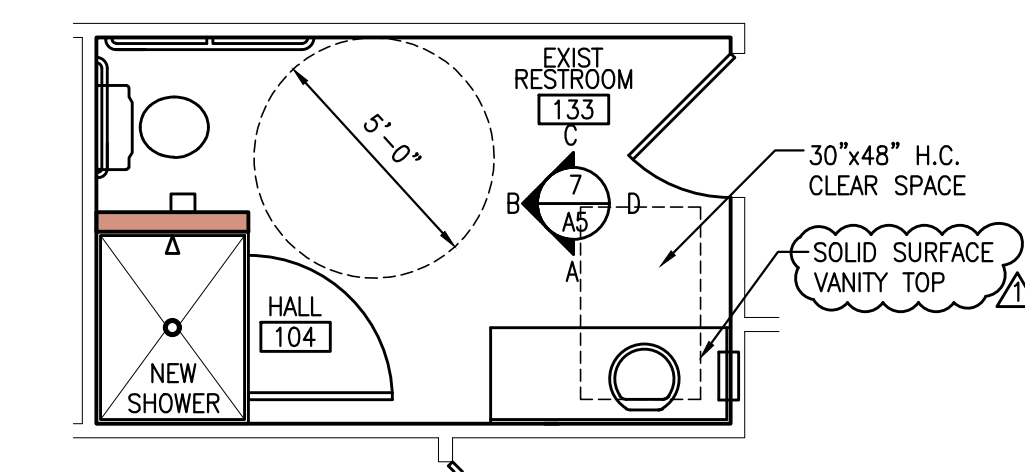


7 RESTROOM 133 ELEVATIONS
A5 | A5 SCALE: 1/4" = 1'-0"

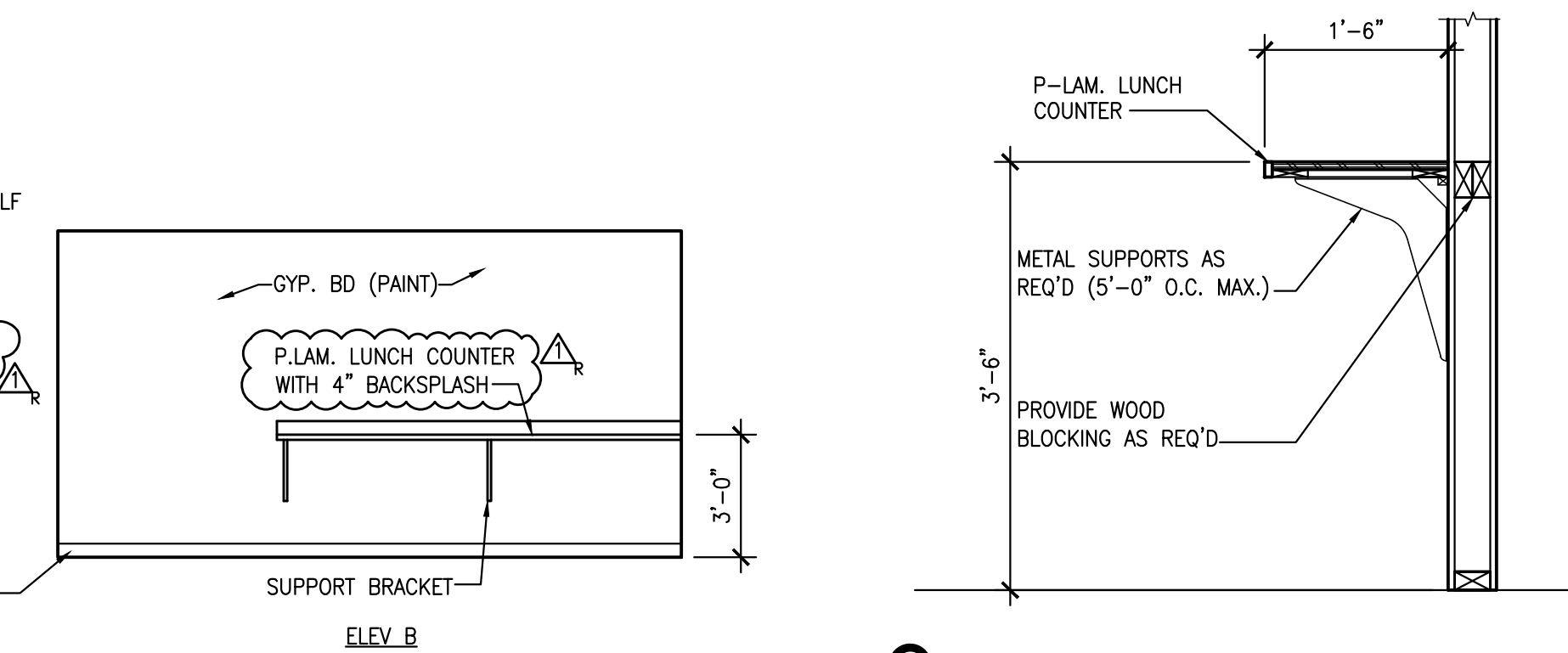
DOOR SCHEDULE							
DOOR NO.	DOOR SIZE	DOOR TYPE	DOOR MAT.	FRAME MAT.	HARDWARE	FIRE RATING	REMARKS
101A	3'-0" x 7'-0" x 1 3/4"	D1	HM	HM/F1	1	-	
101B	3'-0" x 7'-0" x 1 3/4"	D2	WOOD	HM/F1	4	-	
102	3'-0" x 7'-0" x 1 3/4"	D2	WOOD	HM/F1	3	-	
103	3'-0" x 7'-0" x 1 3/4"	D2	WOOD	HM/F1	4	-	
105	3'-0" x 7'-0" x 1 3/4"	D2	WOOD	HM/F1	2	90 MIN	FIRE RATED DOOR AND HARDWARE
106	3'-0" x 7'-0" x 1 3/4"	D2	WOOD	HM/F1	5	-	
107	3'-0" x 7'-0" x 1 3/4"	-	-	-	-	-	EXISTING - NO CHANGE
108	3'-0" x 7'-0" x 1 3/4"	-	-	-	-	-	EXISTING - NO CHANGE
109	3'-0" x 7'-0" x 1 3/4"	D3	HM	HM/F1	1	-	
116A	12'-0" x 12'-0"	D4	ALUM	-	6	-	INSULATED OVERHEAD DOOR WITH HARDWARE BY DOOR MANUFACTURER
116B	12'-0" x 12'-0"	D4	ALUM	-	6	-	INSULATED OVERHEAD DOOR WITH HARDWARE BY DOOR MANUFACTURER
116C	12'-0" x 12'-0"	D4	ALUM	-	6	-	INSULATED OVERHEAD DOOR WITH HARDWARE BY DOOR MANUFACTURER
116D	12'-0" x 12'-0"	D4	ALUM	-	6	-	INSULATED OVERHEAD DOOR WITH HARDWARE BY DOOR MANUFACTURER
116E	3'-0" x 7'-0" x 1 3/4"	D1	HM	HM/F1	1	-	
116F	3'-0" x 7'-0" x 1 3/4"	-	-	-	-	-	EXISTING - NO CHANGE
116G	3'-0" x 7'-0" x 1 3/4"	-	-	-	-	-	EXISTING - FIRE RATED DOOR
116H	3'-0" x 7'-0" x 1 3/4"	-	-	-	-	-	EXISTING - FIRE RATED DOOR

- DOOR & HARDWARE NOTES**
- ALL WOOD DOORS TO BE A PLAIN SLICED WHITE BIRCH DOOR. OWNER TO SELECT FINISH COLOR.
 - VERIFY ALL DOOR HARDWARE REQUIREMENTS WITH OWNER.
 - ALL LATCHING INTERIOR DOORS TO HAVE LEVER TYPE ADA APPROVED ACCEPTABLE HARDWARE UNLESS OTHERWISE NOTED.
 - ALL HANDICAPPED ACCESSIBLE ROOM DOORS ARE REQUIRED TO HAVE A MINIMUM OF 12" CLEARANCE ON PUSH SIDE AND 18" CLEARANCE ON PULL SIDE.
 - VERIFY ALL HARDWARE WITH OWNER AND HARDWARE SUPPLIER PRIOR TO INSTALLATION.
 - ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER THE 2015 IBC.
 - VERIFY ALL EXISTING DOOR HARDWARE IS OPERATIONAL AND IN PROPER WORKING ORDER. REPLACE ANY BROKEN OR NON-FUNCTIONAL HARDWARE.

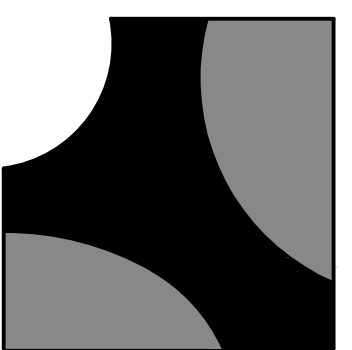
HARDWARE SCHEDULE	
1	EXTERIOR HARDWARE: 1 1/2 OR 3 PR. H.D. HINGES, EXTERIOR LOCKSET, DOOR CLOSERS, THRESHOLD, DRIP EDGE, DOOR SWEEP, WEATHERSEAL
2	INTERIOR PASSAGE SET: 1 1/2 PR. H.D. HINGES, PASSAGE SET
3	RESTROOM SET: 1 1/2 PR. H.D. HINGES, LOCKSET - PRIVACY OPERATION, DOOR CLOSER, KICKPLATE
4	INTERIOR PRIVACY SET: 1 1/2 PR. H.D. HINGES, LOCKSET - PRIVACY OPERATION
5	STOREROOM LOCKSET: 1-1/2 PR. H.D. HINGES, STOREROOM LOCK SET
6	OVERHEAD DOOR HARDWARE BY DOOR MANUFACTURER



8 INTERIOR ELEVATION
A5 | A5 SCALE: 1/4" = 1'-0"
LUNCH ROOM



9 SECTION @ WORK SURFACE
A5 | A5 SCALE: 3/4" = 1'-0"



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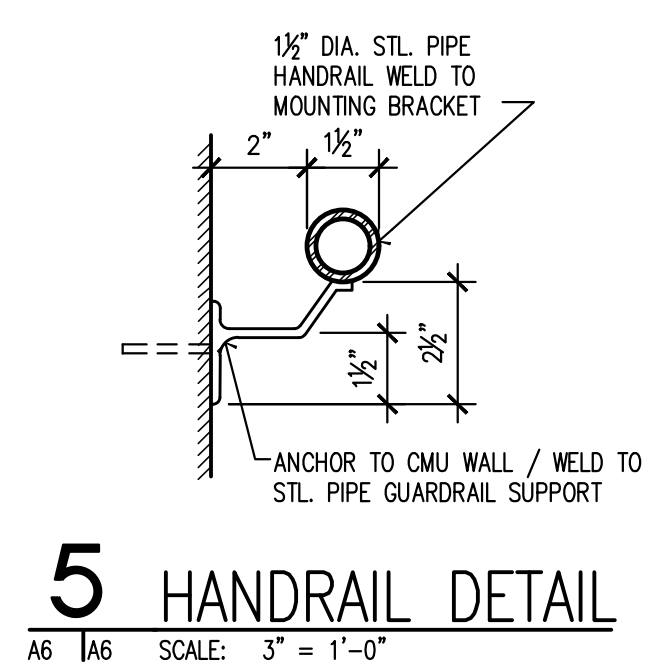
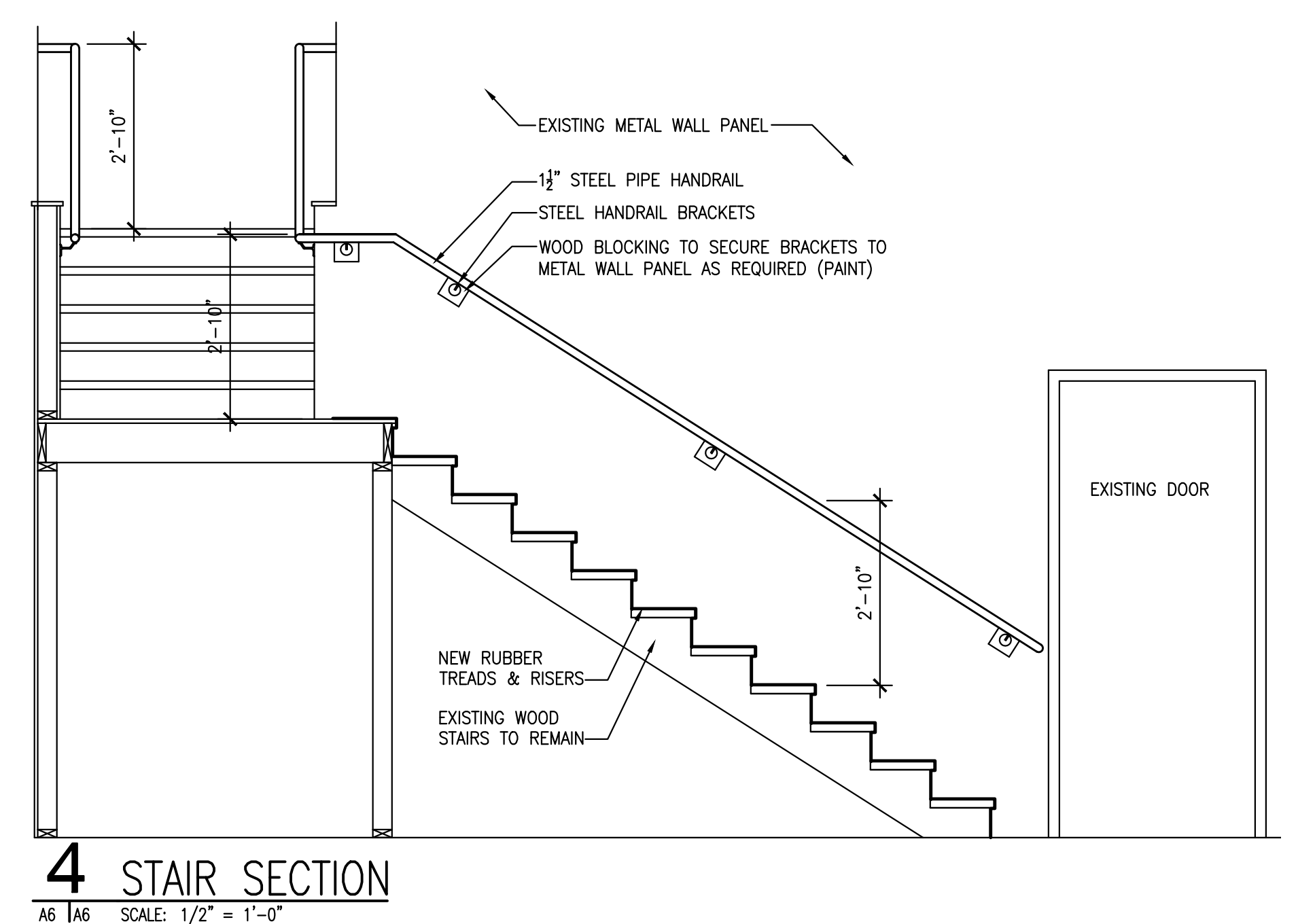
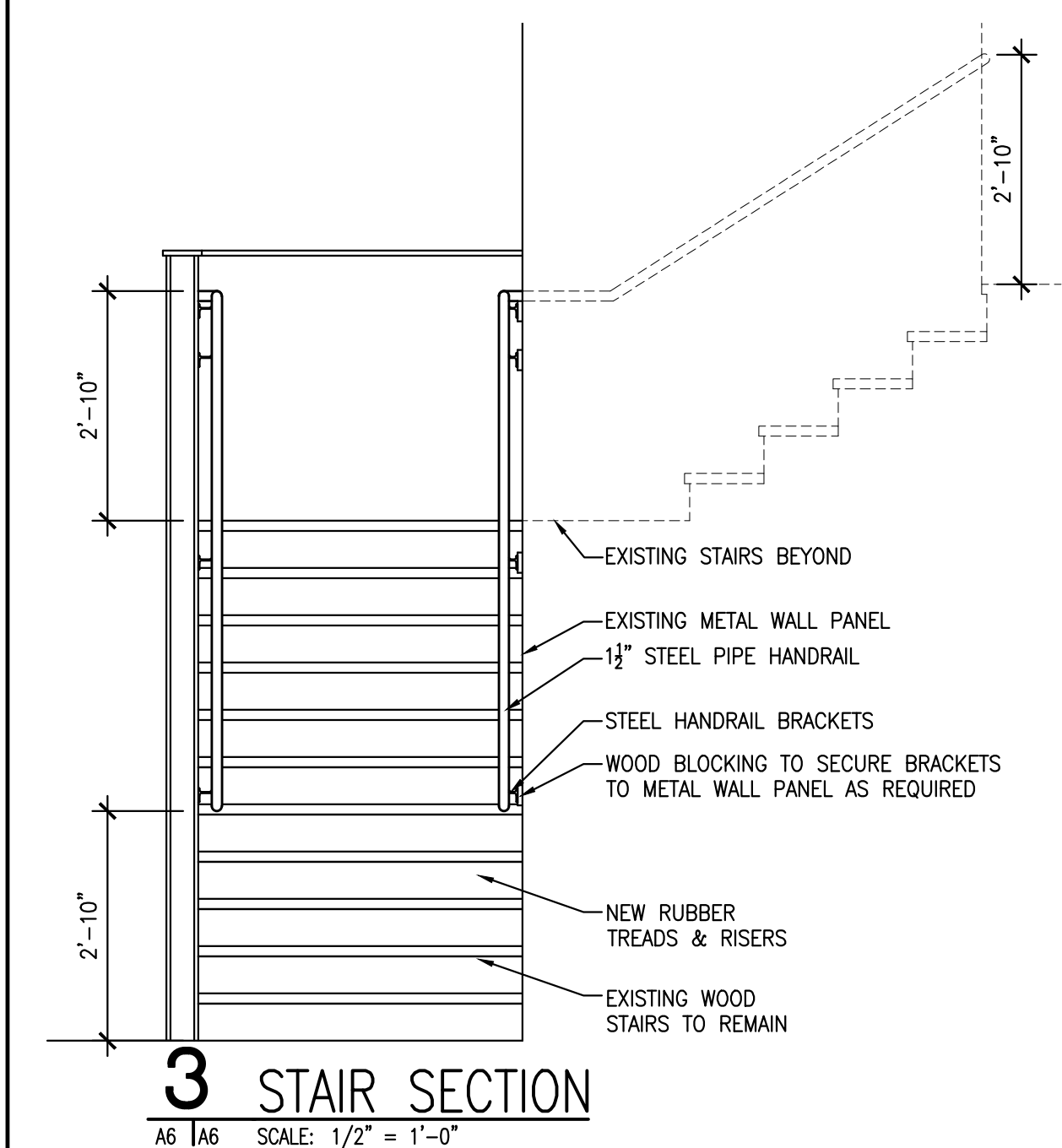
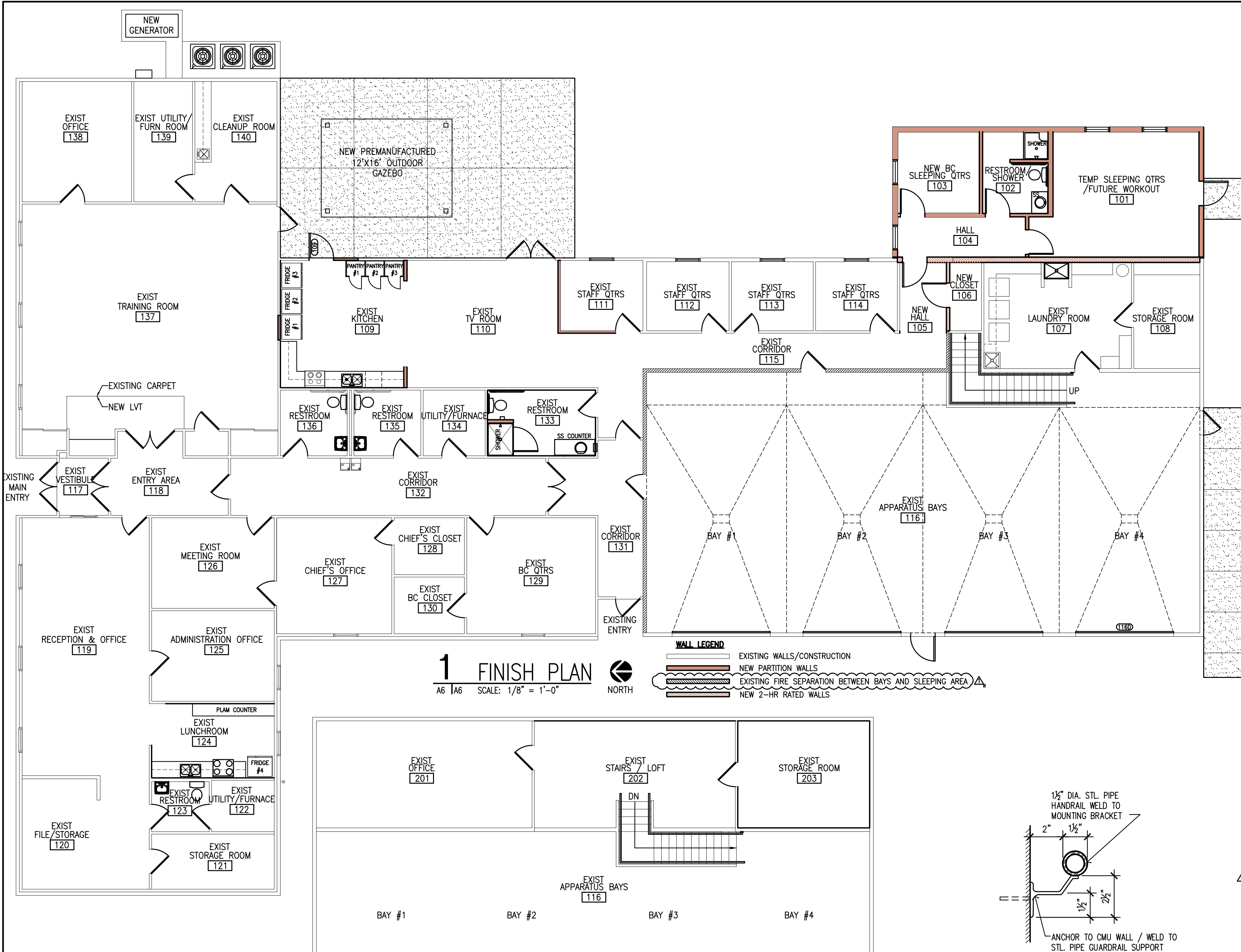
DATE	ISSUE
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Michael J. Baalman
ARCHITECT

PROJECT MANAGER: JKL
DRAWN BY: JKL

PROJECT NUMBER
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SHEET
A5
INTERIOR
ELEVATIONS
& DETAILS



ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		DECORATING		NOTES:
				NORTH	EAST	SOUTH	WEST	MAT'L	HEIGHT	WALLS	CLG	
101	SLEEPING QTRS/WORKOUT	CPT-1	VINYL	GB	GB	GB	GB	GB	10'-0"	P	P	
102	NEW BATHROOM/SHOWER	LVT-1	VINYL	GB	GB	GB	GB	GB	9'-0"	P	P	SOLID SURFACE VANITY TOP
103	NEW BC SLEEPING QUARTERS	CPT-1	VINYL	GB	GB	GB	GB	GB	9'-0"	P	P	
104	NEW HALL	LVT-1	VINYL	GB	GB	GB	GB	GB	9'-0"	P	P	
105	NEW HALL	LVT-1	VINYL	EXIST	GB	GB	EXIST	E. GB	EXIST	P	P	
106	NEW CLOSET	LVT-1	VINYL	GB	GB	EXIST	EXIST	E. GB	EXIST	P	P	
107	EXIST. LAUNDRY ROOM	EXIST	EXIST	EXIST	GB	EXIST	EXIST	E. GB	GB	P	P	FRP TO 6'-0" ON WALLS AT NEW MOP SINK
108	EXIST. STORAGE ROOM	EXIST	EXIST	EXIST	GB	EXIST	EXIST	E. GB	EXIST	EXIST	EXIST	
109	EXIST. KITCHEN	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	SOLID SURFACE COUNTERTOP
110	EXIST. DAYROOM	LVT-1	VINYL		EXIST	GB	EXIST	E. GB	EXIST	P	P	
111	EXIST. STAFF QUARTERS	CPT-1	VINYL	GB	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
112	EXIST. STAFF QUARTERS	CPT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
113	EXIST. STAFF QUARTERS	CPT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
114	EXIST. STAFF QUARTERS	CPT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
115	EXIST. CORRIDOR	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
116	EXIST APPARATUS BAYS	EPXY-2	EPXY-2	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	P	P	
117	EXIST. VESTIBULE	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
118	EXIST. ENTRY AREA	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
119	EXIST. RECEPTION/OFFICE			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
120	EXIST. FILE/STORAGE			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
121	EXIST. STORAGE ROOM			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
122	EXIST. UTILITY/FURN. ROOM			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
123	EXIST. RESTROOM	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
124	EXIST. LUNCH ROOM	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	SOLID SURFACE & PLAM COUNTERTOPS
125	EXIST. ADMINISTRATION OFFICE			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
126	EXIST. MEETING ROOM			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
127	EXIST. CHIEF'S OFFICE			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
128	EXIST. CHIEF'S CLOSET			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
129	EXIST. BC QUARTERS			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
130	EXIST. BC CLOSET			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
131	EXIST. CORRIDOR	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
132	EXIST. CORRIDOR	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
133	EXIST. BATHROOM/SHOWER	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	SOLID SURFACE VANITY TOP
134	EXIST. UTILITY/FURN. ROOM			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
135	EXIST. RESTROOM	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
136	EXIST. RESTROOM	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
137	EXIST. TRAINING ROOM	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
138	EXIST. OFFICE			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
139	EXIST. UTILITY/FURN. ROOM			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
140	EXIST. CLEAN-UP ROOM			EXIST	EXIST	EXIST	EXIST	E. GB	EXIST	P	P	
201	EXIST. OFFICE	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	P	EPXY-1	
202	EXIST. STAIRS/LOFT	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	P	P	
203	EXIST. STORAGE ROOM	LVT-1	VINYL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	P	EPXY-1	

FINISH ABBREVIATIONS & SPECIFICATIONS

LVT-1 - LUXURY VINYL TILE INT - INTEGRAL BASE FRP - FIBERGLASS REINFORCED PANEL ACT - ACOUSTICAL CEILING RBTR - RUBBER TREADS & RISERS
PT - PORCELAIN TILE GB - GYPSUM BOARD SS - SOLID SURFACE P - PAINT
CPT - CARPET TILE PL - PLASTIC LAMINATE EPXY - EPOXY LATEX PAINT

NOTE	MATERIAL	MANUFACTURER	TYPE/MODEL/SIZE	STYLE	COLOR	DESCRIPTION
LVT-1	LUXURY VINYL TILE	NEXT FLOOR	417 122	COLORADO	T.B.D.	
CPT-1	CARPET TILE	SHAWCONTRACT www.shawcontract.com	COLLECTION: FLIGHT PAUSE TILE 24"x24" PATTERN: ASHLAR	5T083	IVORY 83105 OR T.B.D.	
VB-1	VINYL WALL BASE	JOHNSONITE	4"	COVE BASE	BURN'T UMBER OR T.B.D.	
RBTR-1	RUBBER TREADS/RISERS	JOHNSONITE	HAMMERED	HTR-29	MOON ROCK OR T.B.D.	RUBBER STAIR TREADS WITH INTEGRATED RISER
P-1	PAINT, FIELD	SHERWIN WILLIAMS	T.B.D.		T.B.D.	
P-2	PAINT, ACCENT	SHERWIN WILLIAMS	T.B.D.		PROVIDE 20% ACCENT COLOR	
P-3	PAINT, GB CLG.	SHERWIN WILLIAMS	T.B.D.		T.B.D.	
P-3	PAINT, DOOR TRIM	SHERWIN WILLIAMS	T.B.D.		T.B.D.	
S-1	STAIN, DOOR	SHERWIN WILLIAMS	T.B.D.		T.B.D.	
EPXY-1	EPOXY PAINT	SHERWIN WILLIAMS	T.B.D.		T.B.D.	RESTROOMS/BATHROOMS
EPXY-2	EPOXY COATING	TNEMEC COMPANY, INC. DECO-TREAD SERIES 222 OR EQUAL PRODUCT (SEE SPECIFICATION)	T.B.D.	T.B.D.	T.B.D.	PREPARE EXISTING CONCRETE FLOOR PER MANUFACTURER'S INSTRUCTIONS AND INSTALL 2 BAYS AT A TIME
RESIDENTIAL CASEWORK (PREMANUFACTURED AND FACTORY-FINISHED)		MERRILLAT www.merrillat.com				CABINETS TO BE PREFINISHED AND COMPLETE WITH ALL HARDWARE. MERRILLAT BASICS, COLLINS, SQUARE RECESSED PANEL, STANDARD OVERLAY, CLOSE FINISH SHAKER FRONT CABINET DOORS (STANDARD SIZE AS SHOWN), PULL HANDLES (NO KNOBS), DOVE TAIL DRAWERS, SOFT CLOSE GUIDES, ADJUSTABLE SHELVES IN PANTRY CABINETS, ALL PANTRY DOORS TO HAVE SEPARATE LOCKS, PROVIDE POTS & PANS DRAWERS AND COOKIE SHEET CABINET WITH DIVIDER FOR TRAYS.
PL-1	PLASTIC LAMINATE	FORMICA OR WILSONART	T.B.D.	T.B.D.		
SS-1	SOLID SURFACE	CORIAN	T.B.D.	T.B.D.		



Renovation & Addition for:
Lincoln County Ambulance District
Administration Facility / Base Station #1
1392 S. Third Street
Troy, Missouri 63379

R#	ISSUE
2-21-2022	BID & PERMIT SET
3-7-2022	ADDENDUM No. 1

Michael J. Baalman
ARCHITECT
PROJECT MANAGER: JKL
DRAWN BY: JKL
PROJECT NUMBER
21-083
DATE
March 7, 2022
SHEET
A6
FINISH
PLAN

DATE	ISSUE
2-21-2022	BID & PERMIT SET
3-7-2022	ADDENDUM No. 1

MECHANICAL GENERAL NOTES

- COMPLY WITH INTERNATIONAL MECHANICAL CODE. (CURRENT EDITION)
- COMPLY WITH STATE AND LOCAL LAWS, ORDINANCES AND CODES.
- COORDINATE ELECTRICAL REQUIREMENTS FOR HVAC EQUIPMENT AND OTHER EQUIPMENT WITH THE ELECTRICAL CONTRACTOR. PROVIDE WIRING AS REQUIRED FOR THE EXACT EQUIPMENT TO BE INSTALLED. THE EQUIPMENT SUPPLIER SHALL PAY FOR THE CHANGES IN ELECTRICAL REQUIREMENTS DUE TO CHANGES MADE BY THE EQUIPMENT SUPPLIER.
- PROVIDE MISCELLANEOUS HARDWARE, FITTINGS, SUPPORTS, AND OTHER MATERIALS NECESSARY FOR A COMPLETE INSTALLATION.
- ROUTING OF DUCTWORK AND PIPING IS DIAGRAMMATIC. PROVIDE FITTINGS, ELBOWS, OFFSETS AND OTHER COMPONENTS NECESSARY FOR A COMPLETE INSTALLATION. COORDINATE THE INSTALLATION OF THE WORK WITH OTHER CONTRACTORS.
- HVAC EQUIPMENT SHALL BE INSTALLED IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS.
- PROVIDE MECHANICAL EQUIPMENT SUBMITTALS.
- AIR BALANCE TO BE PROVIDED BY CONTRACTOR.
- CONTROL WIRING SHALL BE FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR.
- ATTIC DUCTWORK SHALL BE INSTALLED WITH R-38 INSULATION.
- LINE RECTANGULAR DUCTWORK (EXCEPT ATTIC) WITH 1/2" LINER. INCREASE METAL SIZE.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT NEEDS TO HAVE CLEAR WORKING SPACE.

MECHANICAL EQUIPMENT

- CD-1/CU-1 DAIKIN MINI-SPLIT MULTIPLE ZONE SYSTEM OR EQUAL
- CD-2/CD-1 DAIKIN MINI-SPLIT MULTIPLE ZONE SYSTEM OR EQUAL
- HD-1 KITCHEN & LUNCHROOM HOOD - BROAN MODEL AP1, STAINLESS STEEL, 360 CFM, VARIABLE SPEED FAN, VENT TO EXTERIOR, LIGHT, 36" WIDE WITH GUARDIAN MODEL 1384-B RANGE HOOD FIRE SUPPRESSION SYSTEM. INSTALL FIRE SUPPRESSION SYSTEM IN STRICT ACCORDANCE WITH MFG'S INSTALLATION INSTRUCTIONS. COORDINATE SUPPRESSION SYSTEM REQUIREMENTS WITH GC AND HOOD SUPPLIER. ENSURE HOOD MODEL IS COMPLIANT WITH GUARDIAN SYSTEM.

EXISTING MECHANICAL SYSTEM

CONTRACTOR TO INSPECT AND EVALUATE THE EXISTING MECHANICAL HVAC TO DETERMINE PROPER WORKING CONDITION. PROVIDE THE OWNER WITH OPTIONS FOR REPAIRING, REPLACING OR IMPROVING THE HVAC SYSTEM.

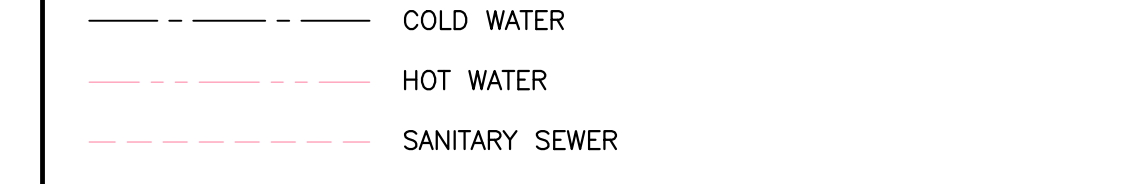
PLUMBING GENERAL NOTES

- COMPLY WITH INTERNATIONAL PLUMBING CODE.
- COMPLY WITH STATE AND LOCAL LAWS, ORDINANCES AND CODES.
- NOT ALL ELBOWS, FITTINGS, ETC., IN PIPING THAT ARE REQUIRED TO CLEAR ALL JOB OBSTRUCTIONS ARE SHOWN. PROVIDE NECESSARY FITTINGS.
- BECAUSE OF THE LIMITED SPACE AVAILABLE TO INSTALL THE PLUMBING WORK, COORDINATE THE INSTALLATION OF THE PLUMBING WORK WITH THE OTHER CONTRACTORS.
- SUBMIT SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW. SHOP DRAWINGS SUBMITTAL SHALL INCLUDE PLUMBING FIXTURES, WATER HEATERS.
- PROVIDE CAST IRON PIPING ABOVE CEILING WITH RETURN AIR PLENUM.

PIPING SCHEDULE

WASTE & VENT	SCHEDULE 40 PVC PIPE & FITTINGS
WATER	TYPE L COPPER WITH WROUGHT FITTINGS, INSULATE 1/2" PERMA FLEX PEX IS APPROVED (CONCEALED ONLY)

PIPING LEGEND



DESIGN-BUILD LIMITED AREA AUTOMATIC SPRINKLER SYSTEM

- CONTRACTOR TO PROVIDE A (DESIGN-BUILD) LIMITED AREA AUTOMATIC SPRINKLER SYSTEM FOR THE NEW BUILDING ADDITION ONLY.
- DESIGN BUILD CONTRACTOR ARE TO INCLUDE ALL SIGNED AND SEALED DRAWINGS AND SPECIFICATIONS AS REQUIRED BY GOVERNING AUTHORITIES FOR THEIR RESPECTIVE WORK. SUBMISSION OF BID INCLUDES ALL REQUIRED WORK SUCH TO PROVIDE A COMPLETE AND WORKING SYSTEM READY TO USE WHEN THE BUILDING IS OCCUPIED BY THE OWNER.
- DESIGN-BUILD CONTRACTOR IS TO VISIT THE SITE TO VERIFY CONDITIONS AND CONFIRM THAT ADEQUATE UTILITIES AND SERVICE SIZES ARE AVAILABLE FOR THEIR WORK.
- FIRE SPRINKLER PLANS REQUIRE A SEPARATE PERMIT. CONTRACTOR TO SUBMIT PLANS. LEAD TO PAY FOR THE FIRE SPRINKLER PERMIT.

GENERATOR

GENERATOR:
 THE EXISTING GENERATOR IS TO BE REPLACED BY A NEW 80KW SINGLE PHASE 120/240 GENERATOR. REFER TO GENERATOR SPECIFICATION IN THE PROJECT MANUAL.
 THE SWITCH GEAR IS A DAYTON MODEL #5W962A 600VAC 400 AMP AND IS COMPATIBLE WITH A NEW GENERAC 80KW GENERATOR AND WILL NOT HAVE TO BE UPGRADED.
 A SECOND PARALLEL ELECTRIC SERVICE SHALL BE ADDED FROM THE GENERATOR TO THE SWITCH GEAR MINIMUM OF 1/0 COPPER. THERE IS A 3/0 RUN ALREADY FROM THE GENERATOR TO THE TRANSFER SWITCH. THE NEW 80KW GENERATOR REQUIRES TWO (2) PARALLEL RUNS OF 1/0 COPPER.

PLUMBING FIXTURE SCHEDULE

FIXTURE	DESCRIPTION	HOT WATER	COLD WATER	SOIL OR WASTE	VENT	REMARKS
WC-1	WATER CLOSET, ELONGATED BOWL, SPLIT SEAT, TANK TYPE	-	1/2"	4"	2"	ADA COMPLIANT
WC-2	WATER CLOSET, ELONGATED BOWL, SPLIT SEAT, TANK TYPE	-	1/2"	4"	2"	
LAV-1	COUNTER MOUNTED LAVATORY, FAUCET, TRAP & TUBING DRAIN, CARRIER	1/2"	1/2"	1 1/4"	1 1/4"	ADA COMPLIANT
LAV-2	WALL MOUNTED LAVATORY, FAUCET, TRAP & TUBING DRAIN, CARRIER	1/2"	1/2"	1 1/4"	1 1/4"	ADA COMPLIANT
LAV-3	WALL MOUNTED LAVATORY, FAUCET, TRAP & TUBING DRAIN, CARRIER	1/2"	1/2"	1 1/4"	1 1/4"	
FD-1	CAST IRON FLOOR DRAIN WITH BRONZE STRAINER	-	-	3"	1 1/2"	TRAP GUARD
SH-1	3'-0" x 3'-0" FIBERGLASS SHOWER WITH PRESSURE BALANCED VALVE & HEAD	1/2"	1/2"	1 1/2"	1 1/4"	ADA COMPLIANT
SH-2	3'-0" x 4'-0" FIBERGLASS SHOWER WITH PRESSURE BALANCED VALVE & HEAD	1/2"	1/2"	1 1/2"	1 1/4"	

ELECTRICAL GENERAL SPECIFICATIONS & NOTES

- GENERAL ELECTRICAL SPECIFICATIONS**
- COMPLY WITH 2014 NATIONAL ELECTRICAL CODE, NFPA 70. COMPLY WITH STATE AND LOCAL LAWS, ORDINANCES AND CODES.
 - PROVIDE GROUNDING CONDUCTORS IN ALL BRANCH AND FEEDER CIRCUITS.
 - VERIFY ELECTRICAL REQUIREMENTS FOR HVAC EQUIPMENT AND OTHER EQUIPMENT WITH THE EQUIPMENT SUPPLIER. PROVIDE WIRING AS REQUIRED FOR THE EXACT EQUIPMENT TO BE INSTALLED. THE EQUIPMENT SUPPLIER SHALL PAY FOR CHANGES IN ELECTRICAL REQUIREMENTS DUE TO CHANGES MADE BY THE EQUIPMENT SUPPLIER. THIS APPLIES TO EQUIPMENT FURNISHED BY OTHER CONTRACTORS OR BY THE OWNER.
 - HOME RUNS LONGER THAN 75'-0" SHALL BE #10. HOME RUNS LONGER THAN 125'-0" SHALL BE #8.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT NEEDS TO HAVE CLEAR SPACE.
 - EXIT SIGN AND EMERGENCY LIGHTS NEED TO BE CLEARLY LABELED IN ELECTRIC PANEL.

SPECIFIC ELECTRICAL SPECIFICATIONS AND NOTES

- ATTIC ACCESS TO BE PROVIDED IN THE AREA CLOSE TO THE EXISTING ELECTRICAL ROOM. COORDINATE WITH GENERAL CONTRACTOR.
- KITCHEN AND OFFICE RECEPTACLES SHALL BE INSTALLED IN PANELS A & B USING MC WIRE.
- THERE ARE PROVISIONS IN THE LOWER PART OF PANELS A & B TO USE BR2020 BREAKERS. THEY ARE IN 2 IN 1 20 AMP BREAKER.
- A TOTAL OF 10 CIRCUITS WOULD BE NECESSARY IN THE KITCHEN, LUNCHROOM AND OFFICES. RECEPTACLES FOR KITCHEN (109), DAY ROOM (110), OFFICE (138) SHALL BE FED FROM PANEL A. LUNCHROOM IN ADMINISTRATION AREA (119) AND ADMINISTRATION OFFICE (125) SHALL BE FED FROM PANEL B.
- INSTALL TWO (2) MAIN LUG PANELS IN THE SOUTH EASTERN AREA OF THE AMBULANCE BAYS. SUB-PANEL A2 SHALL BE INSTALLED IN THE NEW ADDITION, FED FROM PANEL A WITH AN 80 AMP 2 POLE BREAKER. IT SHALL BE A 12 SPACE (MINIMUM) INDOOR PANEL STYLE BR BUTLER HAMMER. SUB-PANEL B2 SHALL BE INSTALLED IN THE SHOP AREA NEXT TO THE EXISTING SUB-PANELS AND SHALL BE A SURFACE MOUNTED RAIN TIGHT 12 SPACE (MINIMUM) STYLE BR BUTLER HAMMER.

ELECTRICAL MATERIALS

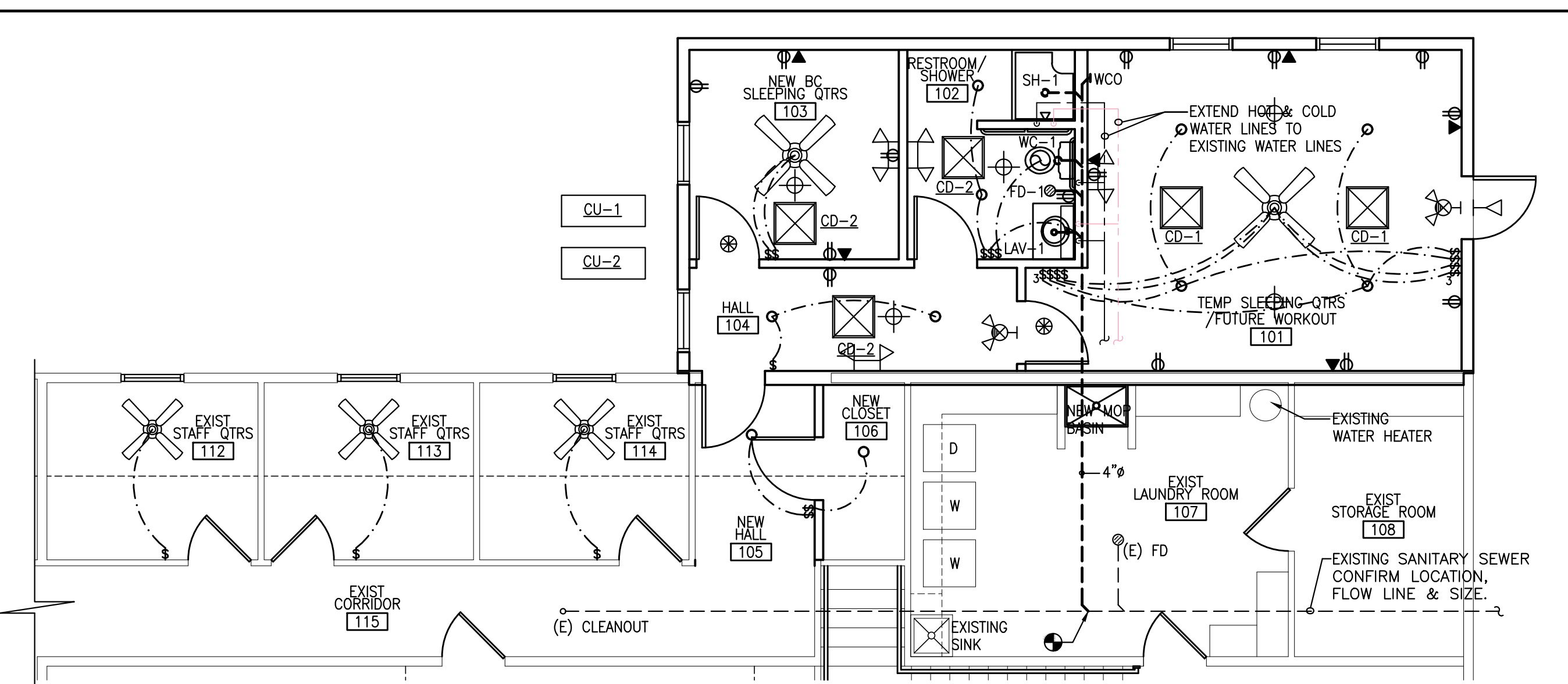
- ELECTRICAL MATERIALS SHALL BE NEW, AND SHALL HAVE A UL / NRTL LABEL. MATERIALS SHALL COMPLY WITH THE APPLICABLE STANDARDS OF NEMA, ANSI, AND IEEE.
- CONDUCTORS SHALL BE COPPER, THHN/THWN.
- USE EMT FOR CONCEALED AND EXPOSED INTERIOR WIRING. TYPE MC CABLE MAY BE USED FOR CONCEALED WIRING TO SWITCHES AND RECEPTACLES. USE EMT FOR BRANCH CIRCUIT HOME RUNS.
- OUTLET BOXES SHALL BE GALVANIZED STEEL OR PVC, SIZE AS REQUIRED FOR APPLICATION AND CONDUCTOR QUANTITY.
- EXPOSED EXTERIOR CONDUIT SHALL BE IMC. PVC CONDUIT SHALL NOT BE USED ON ROOFS. EXTERIOR UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC.
- PANEL BOARDS
 A. BRANCH CIRCUIT PANELS SHALL BE EATON TYPE PRL OR EQUAL BY GENERAL ELECTRIC OR SQUARE D. PANEL VOLTAGE RATING SHALL BE AS REQUIRED FOR SYSTEM USE.
 B. PROVIDE HACR CIRCUIT BREAKERS FOR HVAC EQUIPMENT.
 C. PROVIDE COMMON TRIP ON CIRCUIT BREAKERS FOR MULTI-WIRE BRANCH CIRCUITS.
 D. PROVIDE TYPED PANEL SCHEDULES IN EACH BRANCH CIRCUIT PANEL. PROVIDE ENGRAVED PLASTIC NAME PLATE ON FRONT OF EACH ELECTRICAL PANEL.

ELECTRIC SERVICE

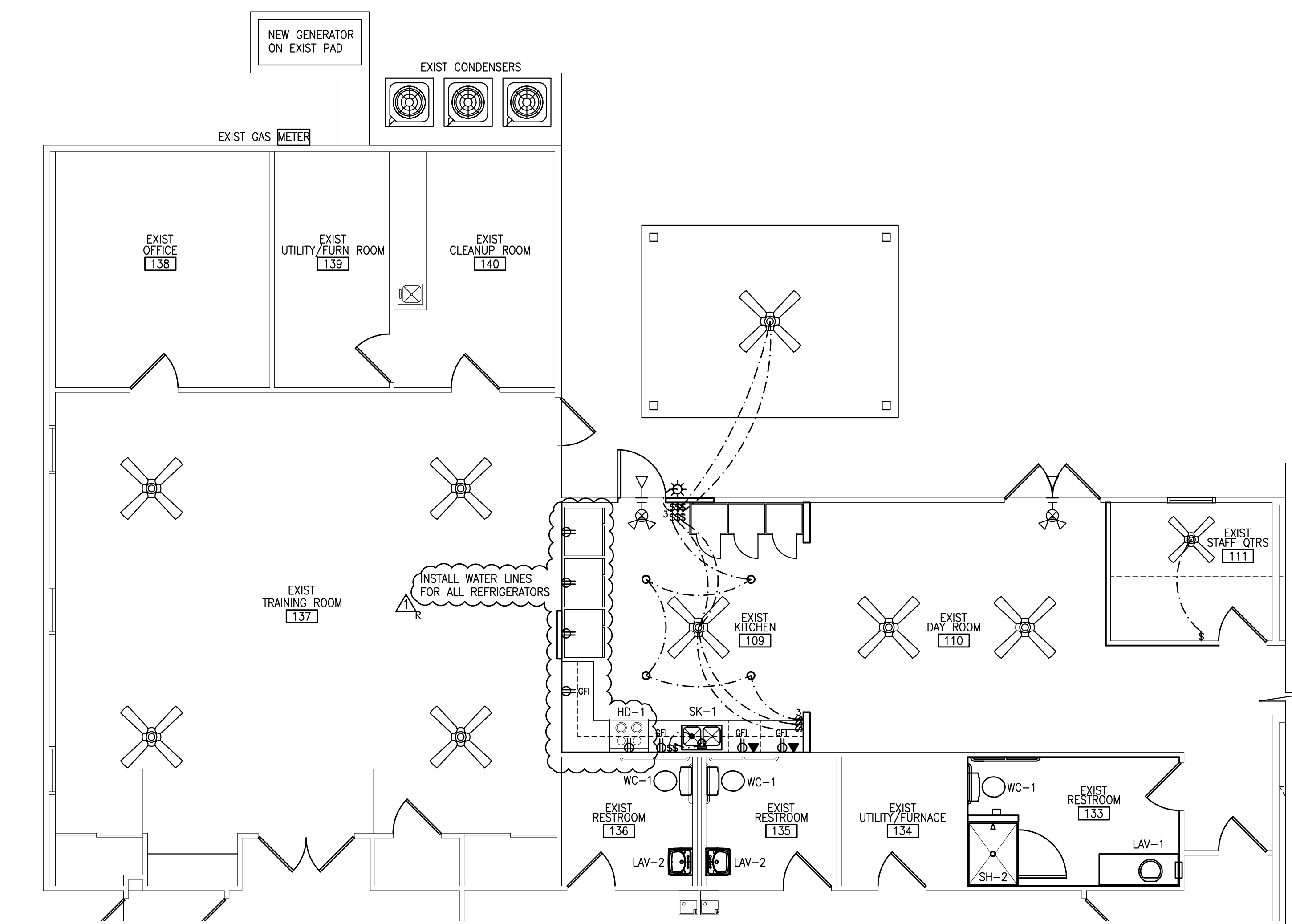
WHEN SHOWN OR REQUIRED, PROVIDE ELECTRICAL SERVICE CONDUCTORS FROM METER TO UTILITY TRANSFORMER. CONDUCTORS AND CONDUIT SHALL BE SIZED AS SHOWN OR REQUIRED. PROVIDE METER INSTALLATION TO COMPLY WITH UTILITY STANDARDS AND REQUIREMENTS. COORDINATE SERVICE INSTALLATION WITH ELECTRIC UTILITY.

ELECTRICAL PANELS

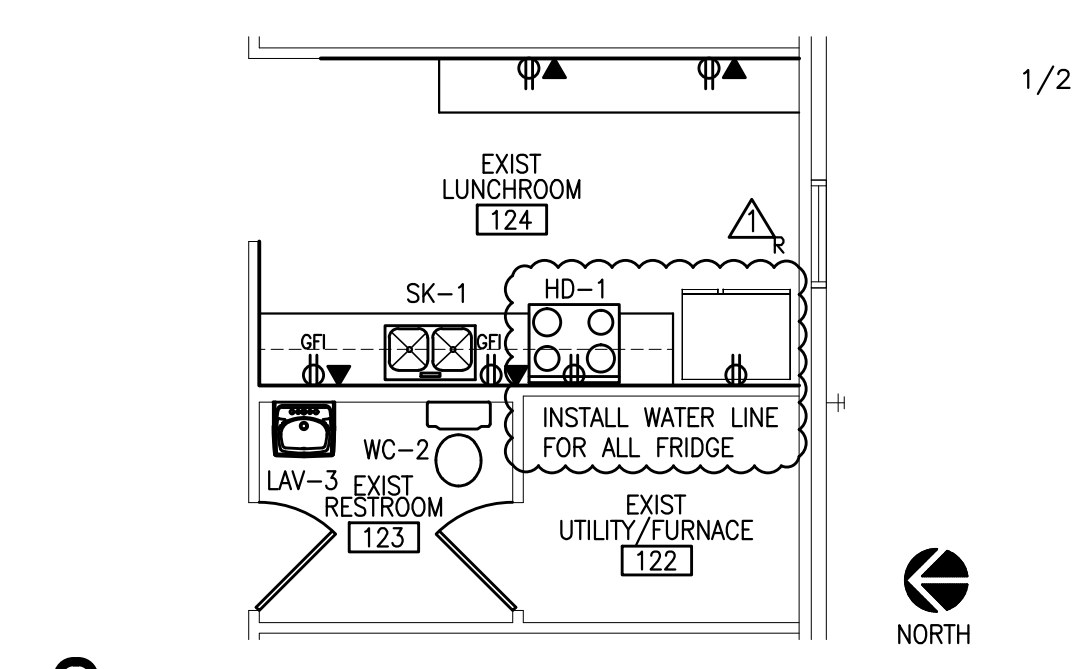
- PANEL A2 SHALL CONTROL THE FOLLOWING:
 ROOM 101 - SLEEPING/FUTURE WORKOUT AREA LIGHTING (SINGLE POLE 20 AMP)
 ROOM 101 - SLEEPING/FUTURE WORKOUT AREA RECEPTACLE 1 (SINGLE POLE 20 AMP)
 ROOM 101 - SLEEPING/FUTURE WORKOUT AREA RECEPTACLE 2 (SINGLE POLE 20 AMP)
 ROOM 101 - SLEEPING/FUTURE WORKOUT AREA RECEPTACLE 3 (SINGLE POLE 20 AMP)
 ROOM 103 - BC SLEEPING QUARTERS RECEPTACLES (SINGLE POLE 20 AMP)
 ROOM 101 - MINI-SPLIT SYSTEM (2 POLE 15 AMP)
 ROOMS 102, 103, 104 - MINI-SPLIT SYSTEM (2 POLE 20 AMP)
- PANEL B2 SHALL CONTROL THE FOLLOWING:
 APPARATUS BAY 1 GFCI DROP CORD CONTROLLED BY A GFCI BREAKER
 APPARATUS BAY 2 GFCI DROP CORD CONTROLLED BY A GFCI BREAKER
 APPARATUS BAY 3 GFCI DROP CORD CONTROLLED BY A GFCI BREAKER
 APPARATUS BAY 4 GFCI DROP CORD CONTROLLED BY A GFCI BREAKER
 SHED POWER FOR EXTERIOR BUILDING
- FEEDER SIZE:
 FEEDER SIZE FOR PANEL A2 SHALL BE A 3 AWG ALUM INSTALLED IN STEEL CONDUIT.
 FEEDER SIZE FOR PANEL B2 SHALL BE A 3 AWG ALUM INSTALLED IN STEEL CONDUIT.
- GROUNDING:
 GROUNDING SHALL BE A #6 AWG COPPER
- RACEWAY:
 STEEL CONDUIT SHALL BE USED WHEN RUNNING ON THE SURFACE OF WALLS
 MC WIRE SHALL BE USED IN WALLS



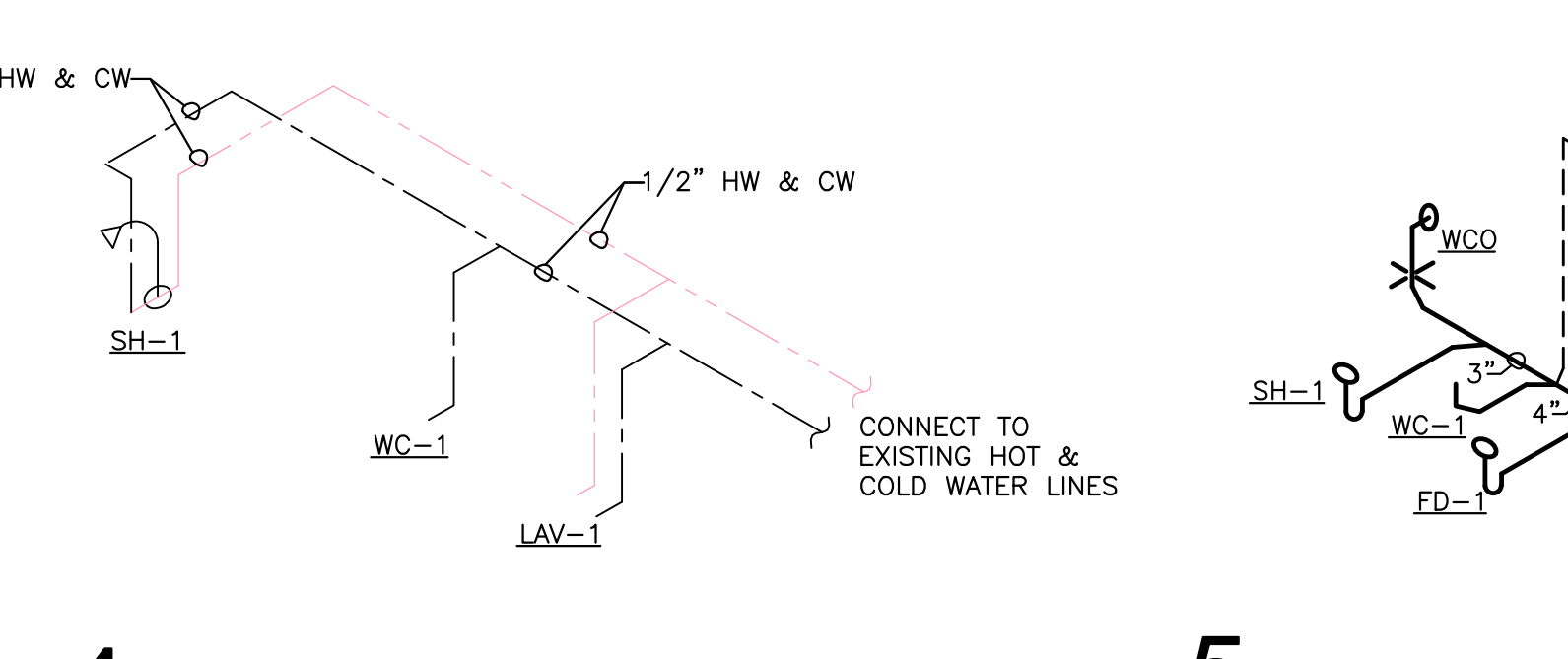
1 MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS
 A7 1A7 SCALE: 3/16" = 1'-0" NORTH



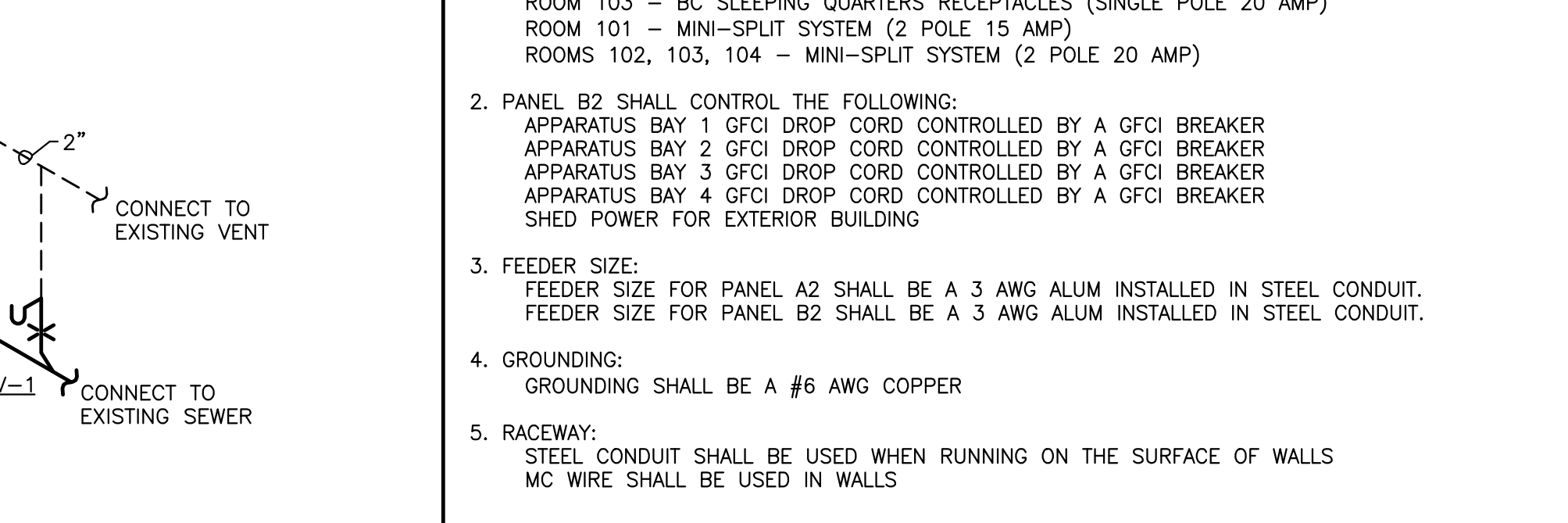
2 MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS
 A7 1A7 SCALE: 3/16" = 1'-0" NORTH



3 MECH, ELEC & PLUMB SYSTEMS
 A7 1A7 SCALE: 3/16" = 1'-0" NORTH



4 HOT & COLD WATER SCHEMATIC
 A7 1A7 SCALE: 3/16" = 1'-0" NORTH



5 WASTE & VENT SCHEMATIC
 A7 1A7 SCALE: 3/16" = 1'-0" NORTH